

TILLMAN'S CORNER MEDICAL PARK SUBDIVISION

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2-lot, 2.3± acre subdivision which is located at 5320 US Highway 90 West (North side of Nevius Road, extending from US Highway 90 West to Dozier Lane). The subdivision is served by public water and sewer facilities.

The purpose of this application is to create two legal lots of record and an area designated as "future development" from an existing metes and bounds parcel.

Both US Highway 90 West and Nevius Road are shown as major streets on the Major Street Plan component of the Comprehensive Plan. While the plat submitted indicated that each street has a variable right-of-way, the right-of-way is in excess of the minimum required by the Major Street Plan.

While there is an existing service road adjacent to the site, curb cuts should be approved by ALDOT and the County Engineering Department.

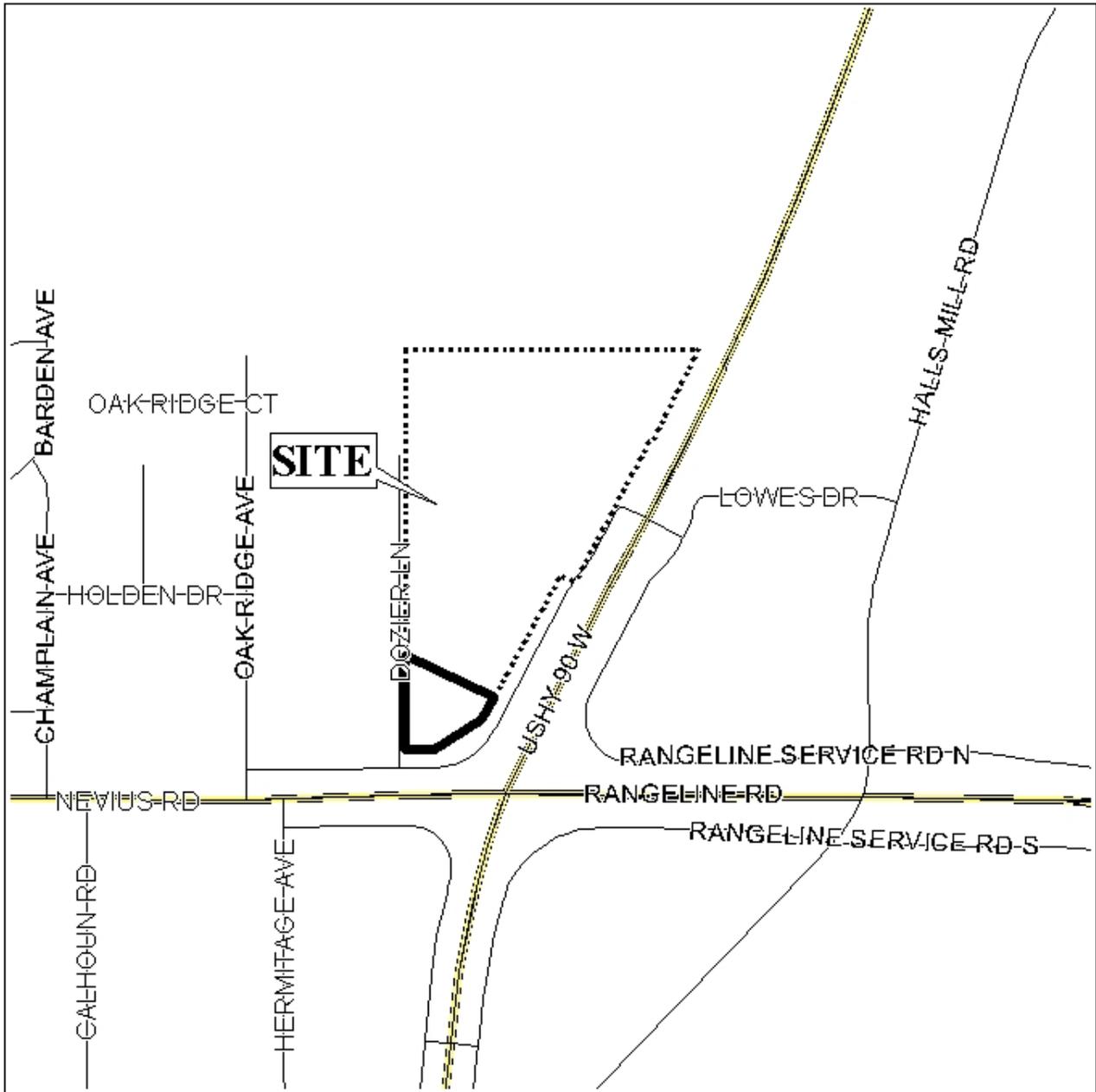
The site is also adjacent to Dozier Lane, a minor residential street. As the site is apparently to be developed commercially, denial of access to Dozier Lane would be appropriate.

While the site is in the County, the applicant's engineer will be required to certify that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat, if approved.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The plat is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the Final Plat stating that the size, location and design of all curb cuts to be approved by the Mobile County Engineering Department and ALDOT; 2) Placement of a note on the final plat stating that access to Dozier Lane is denied; 3) provision of a certification letter from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention and drainage facilities comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat; and 4) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP

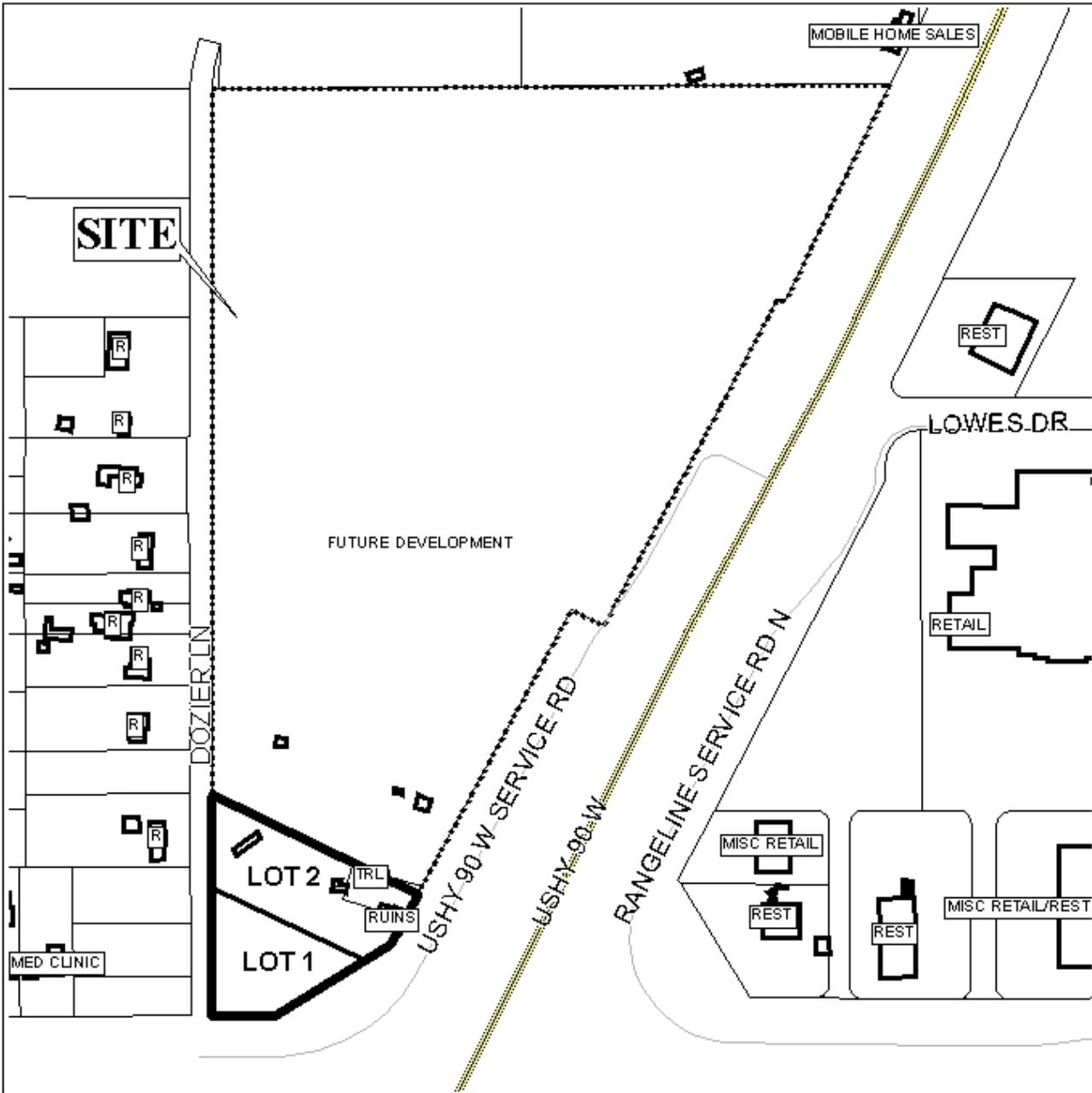


APPLICATION NUMBER 8 DATE November 16, 2006
APPLICANT Tillman's Corner Medical Park Subdivision
REQUEST Subdivision



NTS

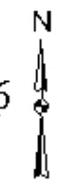
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	



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