

**PLANNED UNIT DEVELOPMENT &  
SUBDIVISION STAFF REPORT****Date: June 5, 2003**

<b><u>DEVELOPMENT NAME</u></b>	Springdale Mall Subdivision
<b><u>SUBDIVISION NAME</u></b>	Springdale Mall Subdivision
<b><u>LOCATION</u></b>	3250 Airport Boulevard (Northeast corner of Airport Boulevard and East I-65 Service Road South, extending to the South terminus of Springdale Boulevard)
<b><u>PRESENT ZONING</u></b>	B-3, Community Business
<b><u>AREA OF PROPERTY</u></b>	69.2± Acres / 4 Lots
<b><u>CONTEMPLATED USE</u></b>	Multiple buildings on multiple building sites, and shared access and shared parking between multiple building sites.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediate
<b><u>ENGINEERING COMMENTS</u></b>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Recommend review of the parking lot layout to address traffic circulation. Currently, Springdale Boulevard has an ADT of 13,600. The roadway around the building could encourage cut through traffic to Airport Boulevard and create additional traffic conflicts.
<b><u>REMARKS</u></b>	The applicant is requesting Subdivision approval to create four lots and Planned Unit Development approval to allow multiple buildings on multiple building sites, with shared access and shared parking between multiple building sites.

As stated above, the applicant proposes to create a four lot subdivision. Lot 1 will consist of a new building, and as such full compliance with the landscaping and tree planting requirements of the Ordinance would be required. The buildings on Lots 2 and 4 will remain, as well as the building on Lot 3 which will be renovated, and any necessary trees for the redevelopment of Lot 3 should be coordinated with and approved by Urban Forestry. Additionally, Lot 3 would exceed the maximum width to depth ratio as

outlined in the Subdivision Regulations, thus a waiver of Section V.D.3., would be required.

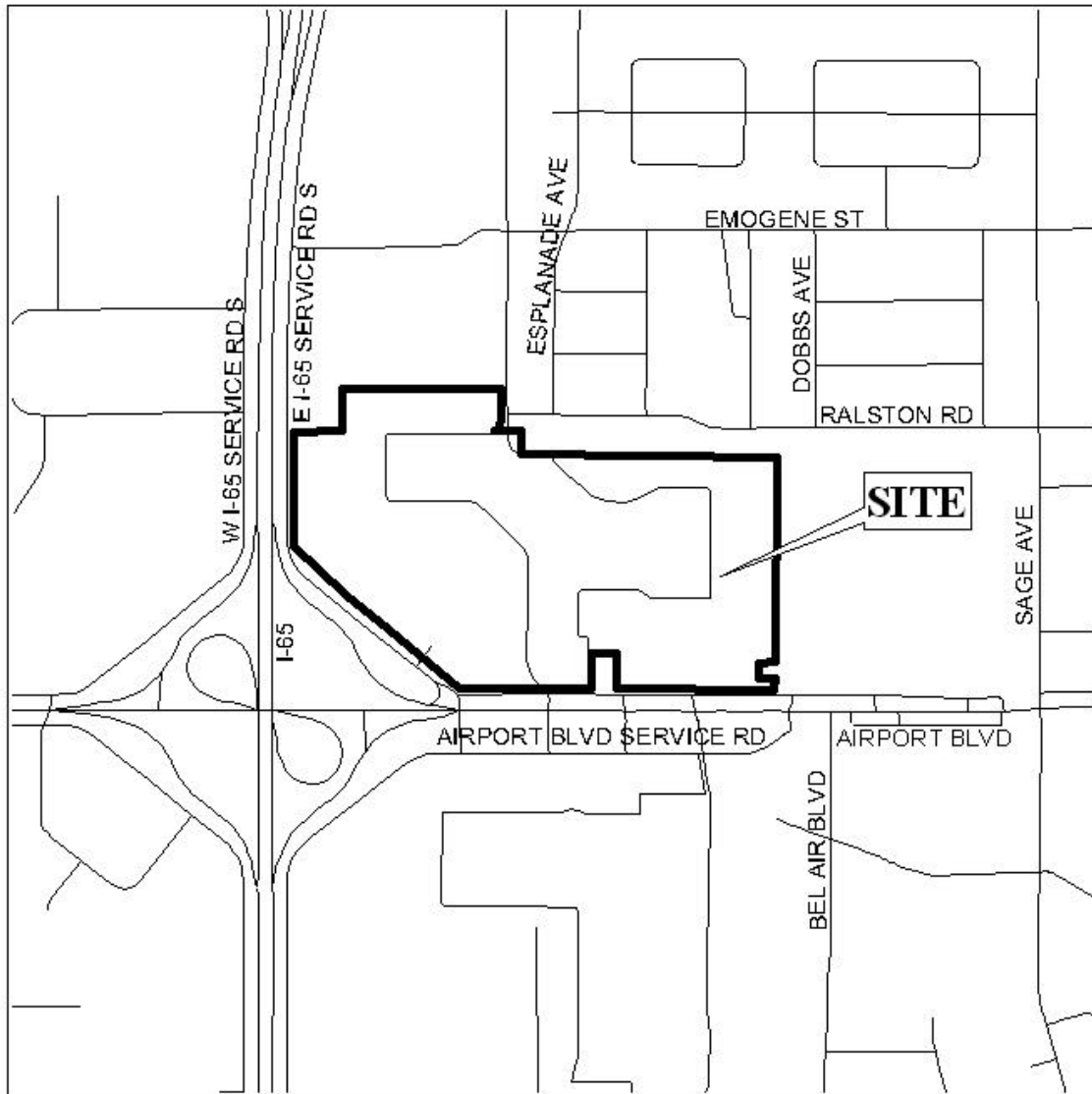
Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The site is located in an established commercial district, and provides more than the minimum required number of parking spaces. The site is also located at the intersection of two major streets, and both streets have adequate right-of-way in compliance with the Major Street Plan requirements.

**RECOMMENDATION**      **Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the landscaping and tree planting requirements of the Ordinance for Lot 1; 2) that tree plantings for Lot 3 be coordinated with and approved by Urban Forestry; and 3) full compliance with all municipal codes and ordinances.

**Subdivision:** With a waiver of Section V.D.3., the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval.

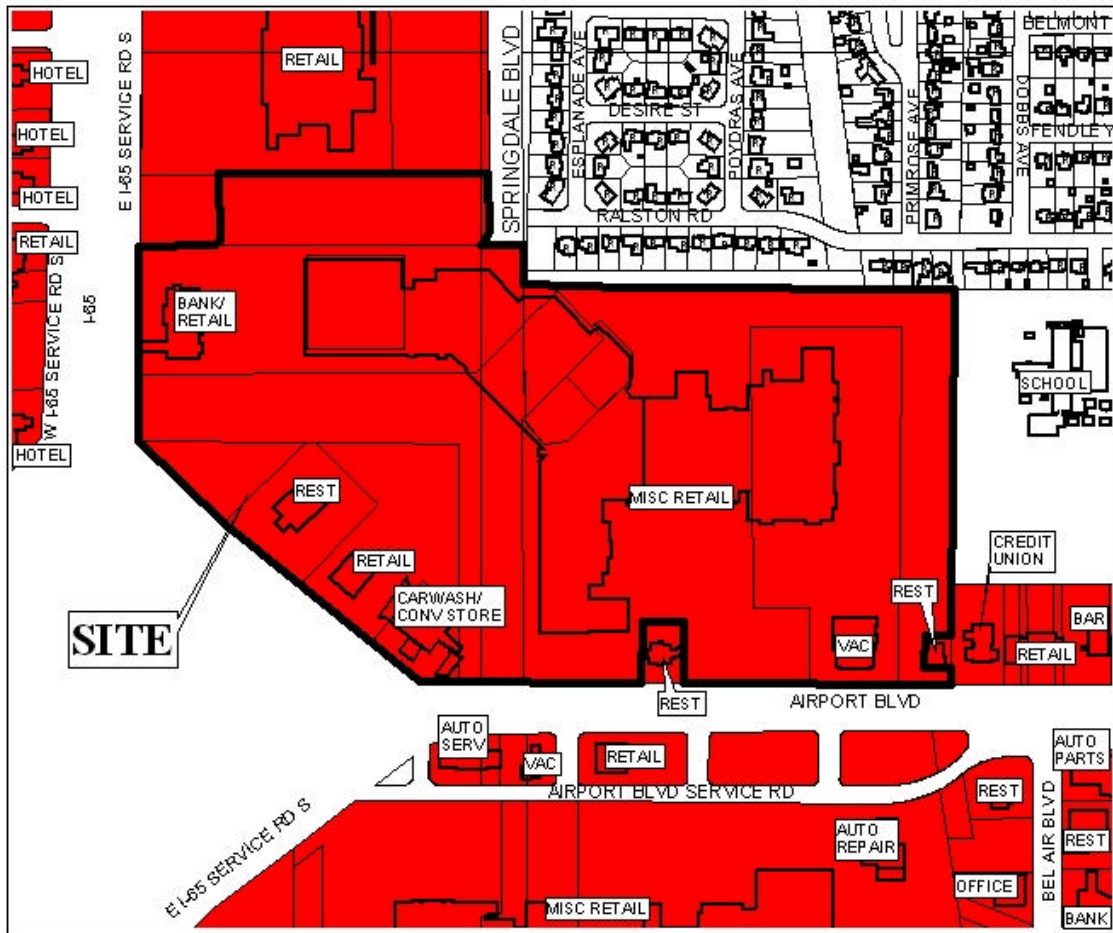
## LOCATOR MAP



APPLICATION NUMBER 3 & 4 DATE June 5, 2003  
APPLICANT Springdale Mall Subdivision  
REQUEST Planned Unit Development, Subdivision



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



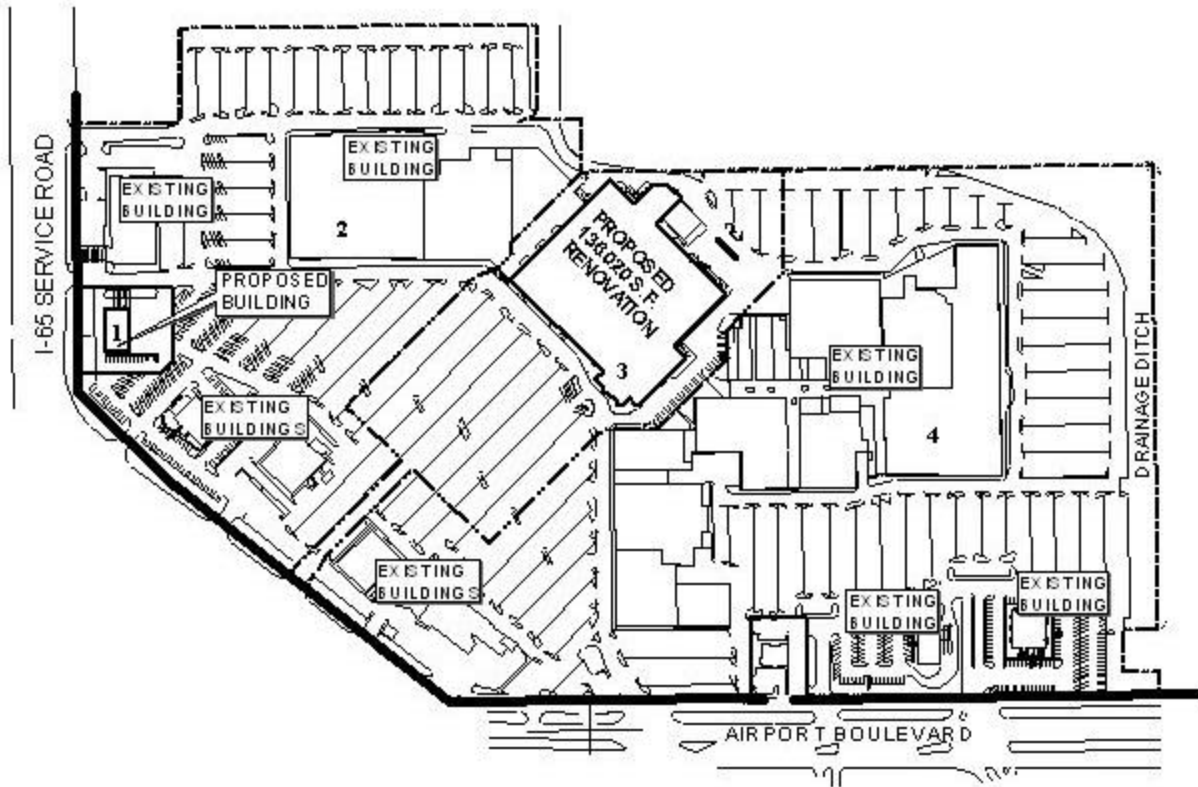
Located to the North of the site are retail and single family residential dwellings; to the East are miscellaneous retail, restaurants, credit union, and school. Located to the South of the site are miscellaneous retail and auto repair, to the West are miscellaneous hotels and retail.

APPLICATION NUMBER 3 & 4 DATE June 5, 2003  
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LEGEND



## SITE PLAN



The site is located on the Northeast corner of Airport Boulevard and East I-65 Service Road South, extending to the South terminus of Springdale Boulevard. The plan illustrates the existing structures and parking along with the proposed building.

APPLICATION NUMBER 3 & 4 DATE June 5, 2003

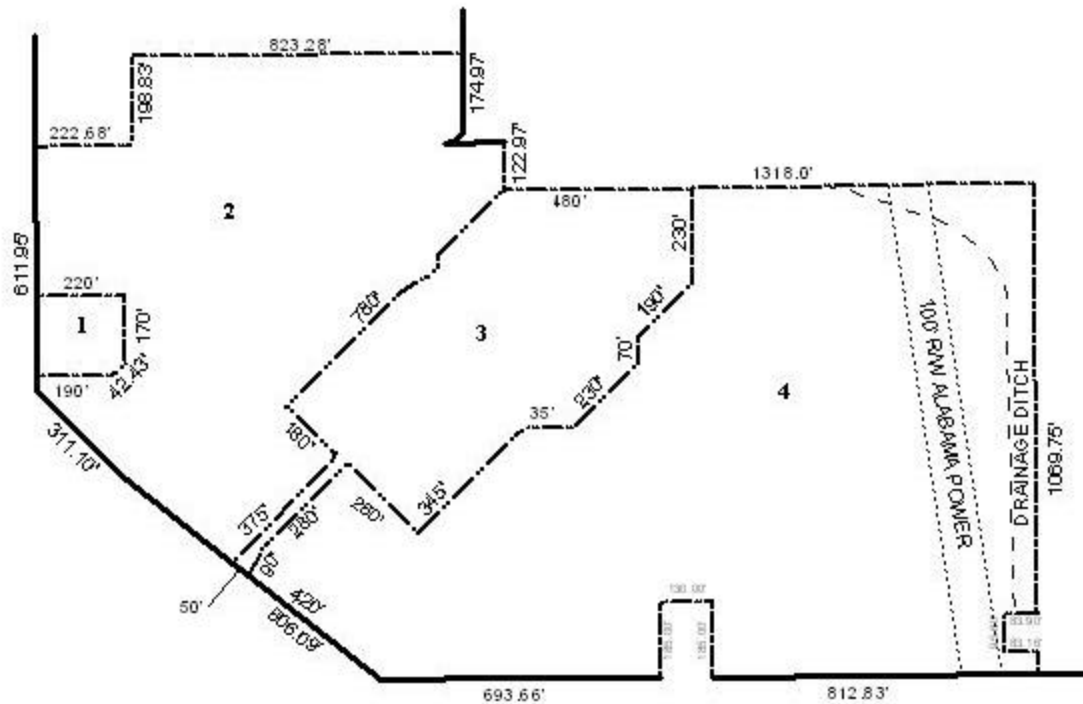
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## DETAIL SITE PLAN



APPLICATION NUMBER 3 & 4 DATE June 5, 2003

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USE/REQUEST	Planned Unit Development, Subdivision
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