

WOODCREEK SUBDIVISION,

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 371 lot, 141 ± acre subdivision, located on the East terminus of Lesley Court, extending East to Sollie Road. The applicant states that the subdivision is served by public water and sewer systems.

The purpose of this application is to create a 371 lot subdivision from five parcels.

The subdivision will have a variety of lot sizes, with a substantial number of lots less than the minimum recommended area of 7,200 square feet, and less than the recommended width of 60 feet. Proposed lot sizes range from 3000 square feet and as narrow as 25 feet in width, to lots over 23,000 square feet. The subdivision will have areas set aside to accommodate 4 development typologies: 1) townhome, 51 lots; 2) cottage, 208 lots; 3) traditional, 52 lots; and 4) large, 60 lots. The “townhome” and “cottage” lots will generally be less than the minimum lot size recommended by the Subdivision Regulations, however, nearly 18 acres of land will be set aside for common and detention common areas.

The applicant states that the provision of a variety of lot sizes and corresponding development typologies represents innovative design, per Section VIII.C. of the Subdivision Regulations. The applicant also states that the grouping of the lots, as proposed, will allow for the creation of unique neighborhoods within the overall development. As previously stated, some of the proposed lot sizes and lot widths do not meet the minimum width or size requirements of Section V.D.2. of the Subdivision Regulations, thus a waiver of these requirements will be necessary.

The site fronts onto Sollie Road, a proposed major street, Lesley Court, a street-stub of minor street, Shasta drive, a street-stub of a minor street, and unpaved street-stubs that connect to Tara Drive North, West and South. The right-of-way for Sollie Road should be a minimum of 100-feet, however, it appears that it ranges from 80 to 90 feet in this location. Dedication of right-of-way sufficient to provide a minimum of 50-feet, as measured from the centerline, should be provided along the entire portion of the site where it abuts Sollie Road.

Access management is a concern for the development due to the frontage on a proposed major street, the lot widths, and the total number of lots. Direct access to Sollie Road for any lots with frontage on Sollie Road should be denied. All other lots should be limited to one curb-cut each, with the size, design and location of all curb-cuts to be approved by the Mobile County Engineering Department.

Access management is a concern as it relates to public safety. The 371-lot subdivision, as proposed, will have only three connections to existing public streets. No additional street-stubs are proposed, even though street-stubs exist off of Tara Drive North, West and South, as well as Shasta Drive to the South. Also, three parcels to the South of the site are large enough to warrant street-stub connections, however, none are proposed. It is recommended that one street-stub be provided in the vicinity of proposed Lots 331 and 332, or Lot 318, and that a street-stub be

provided to Shasta Drive, near Lot 281 and 282. It should be noted that the plat does not correctly depict the existing lots in Ashley Estates, 2nd Addition, Part B, as it omits the existing street-stub. Two street-stubs should also be provided to two of the three large parcels South of the site; specifically it is recommended that street-stubs be provided to parcels R023304194000002. and R023304194000001. so that adequate connectivity is ensured for the proposed 371-lot subdivision and adjacent future development.

Portions of the site may contain wetlands. The potential presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

Common areas are proposed throughout the development, including the round-about, road medians, detention areas and other areas. There also appear to be areas of land that are not lots and are not labeled as common areas: these areas should be specifically identified. All common areas should be quantified in square feet, with differentiation of areas set aside for detention. A note should also be placed on the final plat, if approved, stating that maintenance of the detention and common areas is the responsibility of the subdivision's property owners.

Stormwater detention facilities are depicted on the plat. While the site is located in Mobile County, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Planning Section of Urban Development prior to the signing of the final plat, if approved.

It appears that some lots are missing lot lines that separate them from common areas, and that some common areas have extra lines that effectively cut them off from adjacent common areas. The plat should be revised to correct the lot and common area delineation.

This site is located in Mobile County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

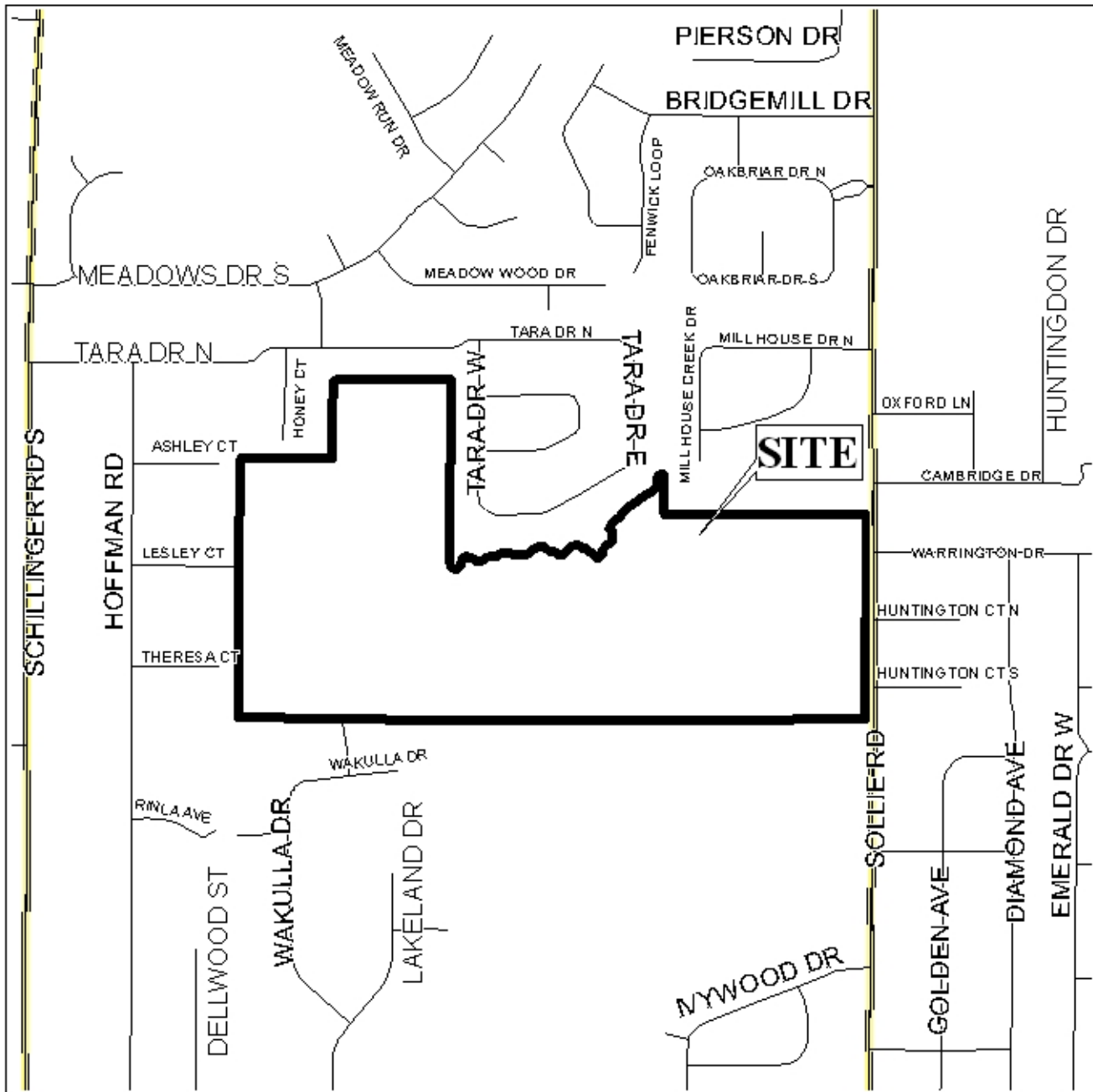
If the development of the subdivision is to occur in phases, a phasing plan should be provided prior to the signing of the final plat for the first phase. Any conditions relating to the approval of the overall plan, including notes required on the final plat, should apply to subsequent phases and their related plats.

Finally, the 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved. The setback line should reflect any required dedication, and should be shown from all road frontages, including for those lots with double frontage.

With a waiver of Section V.D.2., this application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to show dedication of right-of-way sufficient to provide 50-feet, as measured from the centerline of Sollie Road;
- 2) revision of the plat to provide one street-stub connection in the vicinity of Lots 331 - 332, or Lot 318;
- 3) revision of the plat to provide a street-stub connection to Shasta Drive, near Lot 281 – 282;
- 4) revision of the plat to provide one street-stub connection each to parcels R023304194000002. and R023304194000001.;
- 5) labeling of each lot with its size in square feet, or provision of a table with the same information;
- 6) revision of the plat to label all common areas, detention areas and any unidentified areas, and provision of a table quantifying common area in square feet (by phases);
- 7) placement of a note on the plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations;
- 8) placement of a note on the plat stating that provision of a certification letter from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention and drainage facilities comply with the City of Mobile stormwater and flood control ordinances, is required prior to the signing and recording of the final plat;
- 9) placement of a note on the plat stating that maintenance of the detention and common areas is the responsibility of the subdivision's property owners;
- 10) placement of a note on the plat stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities;
- 11) placement of a note on the final plat stating that all lots are denied direct access to Sollie Road;
- 12) placement of a note on the final plat stating that each lot is limited to one curb-cut, with the size, design and location to be approved by Mobile County Engineering;
- 13) depiction of the 25-foot minimum building setback line from all street frontages, adjusted for any required dedication along Sollie Road;
- 14) provision of a phasing plan prior to the signing of the final plat, if the subdivision will be developed in phases, and the plats recorded in phases; and
- 15) revision of the plat to correct any missing or extra lot lines.

LOCATOR MAP



APPLICATION NUMBER 19 DATE July 5, 2007

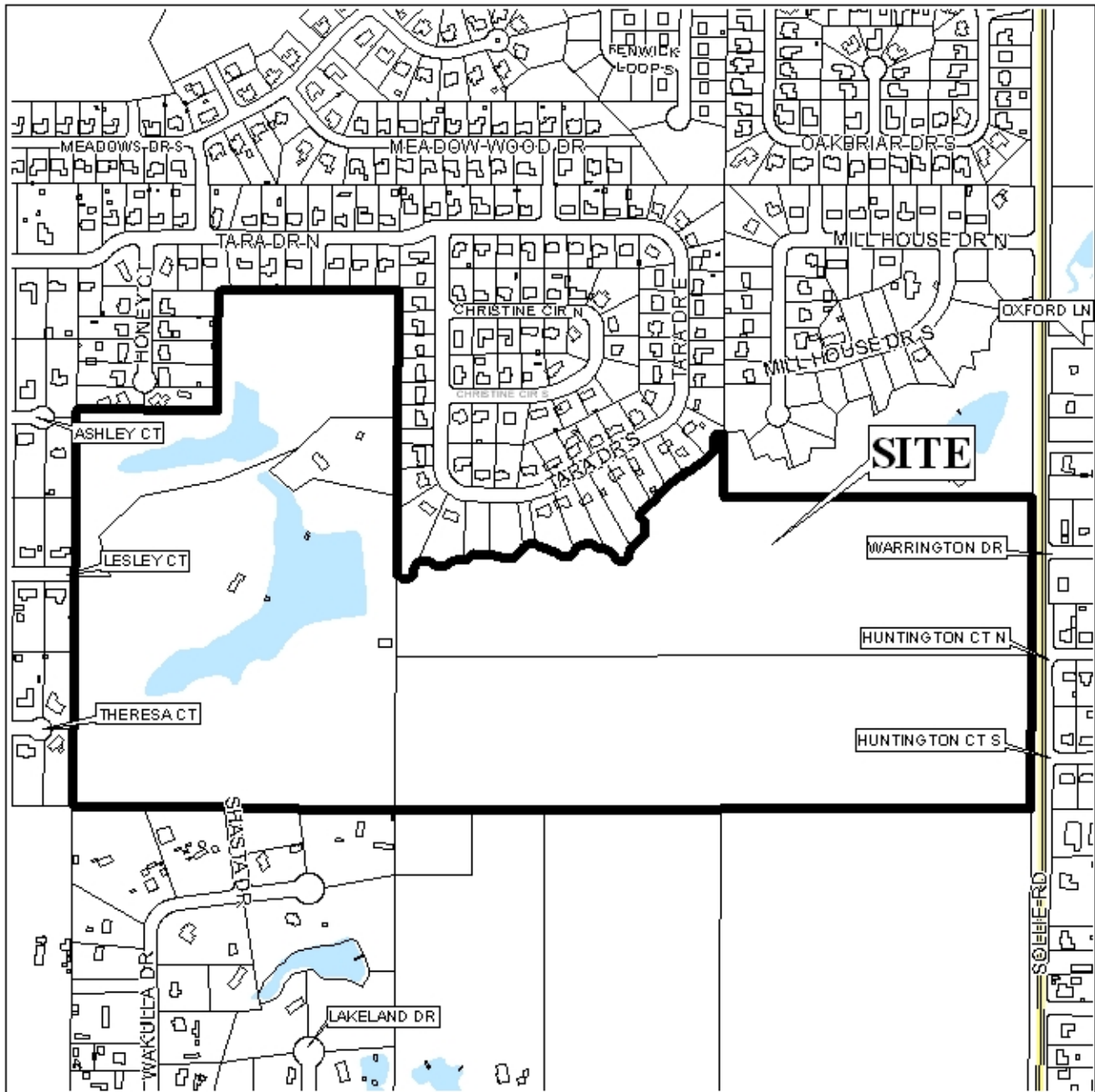
APPLICANT Woodcreek Subdivision

REQUEST Subdivision



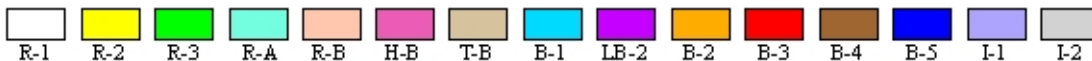
NTS

WOODCREEK SUBDIVISION



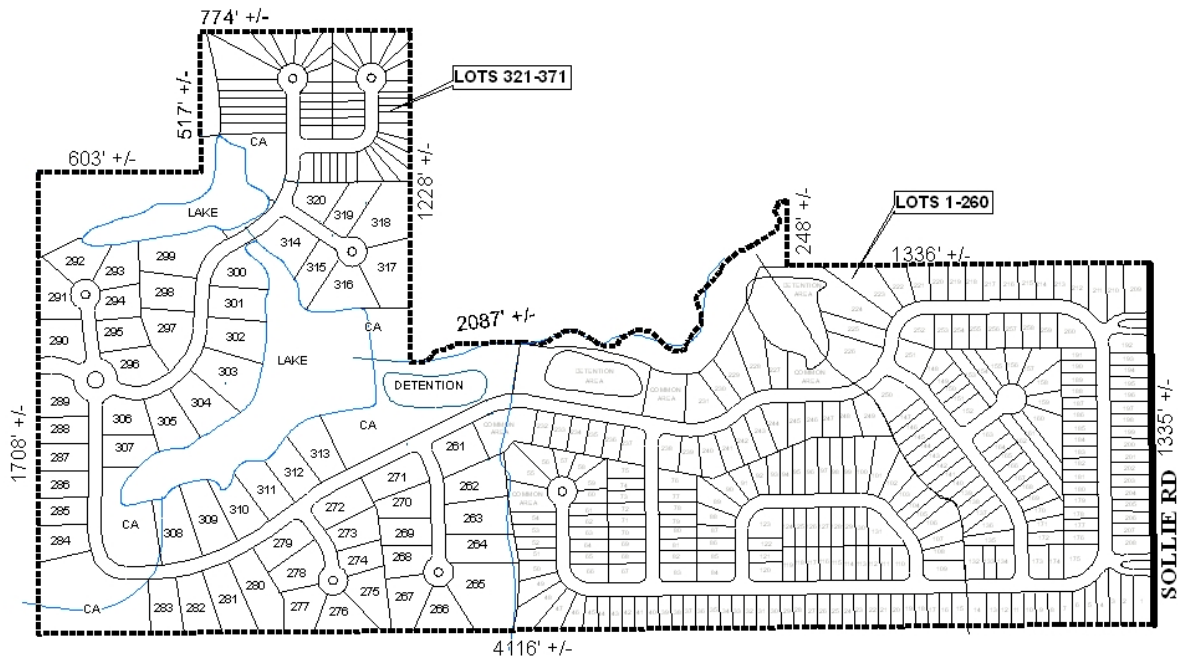
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LEGEND



NTS

DETAIL SITE PLAN



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APPLICANT Woodcreek Subdivision

REQUEST Subdivision

