

THE LEGENDS AT MAGNOLIA GROVE, UNIT

TWO

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 20.0 acre \pm , 52 lot subdivision which is located on the West terminus of Champions Run, and the North terminus of Legends Row, and is in Council District 7. The subdivision is served by both public water and sanitary sewer.

The proposed subdivision is the second unit for The Legends of Magnolia Grove Subdivision, which was approved by the Planning Commission on December 22, 2000, subject to the following conditions:

- 1) provision of a street stub to the West;
- 2) a maximum of 50% of the lots may be recorded until another access is provided to either Moffett Road or Schillinger Road via an improved, City standard street;
- 3) placement of a note on the final plat stating denial of access to Graham Road unless Graham Road is improved to City standards to Moffett Road;
- 4) placement of a note on the final plat stating Lots 1-4 and 58 are denied direct access to Magnolia Grove Parkway;
- 5) provision of traffic calming devices other than speed humps with the location and design to be coordinated with the Traffic Engineering Department;
- 6) the areas indicated on the plat submitted as common area and given lot numbers be denoted as common areas only;
- 7) placement of a note on the final plat stating maintenance of all common areas (including islands located in the cul-de-sac rights-of-way) to be the responsibility of the property owners; and
- 8) the lots that are to have reduced setbacks, fronting only on cul-de-sac streets (Muirfield Court, Inverness Court, Trevino Court, Palmer Court, Medinah Court & Miller Circle), be noted on the final plat and reflect the building limits on the final plat.

The December 2000 approval followed an approval in October 1999, however, the applicant reapplied to (unsuccessfully) remove condition number 5.

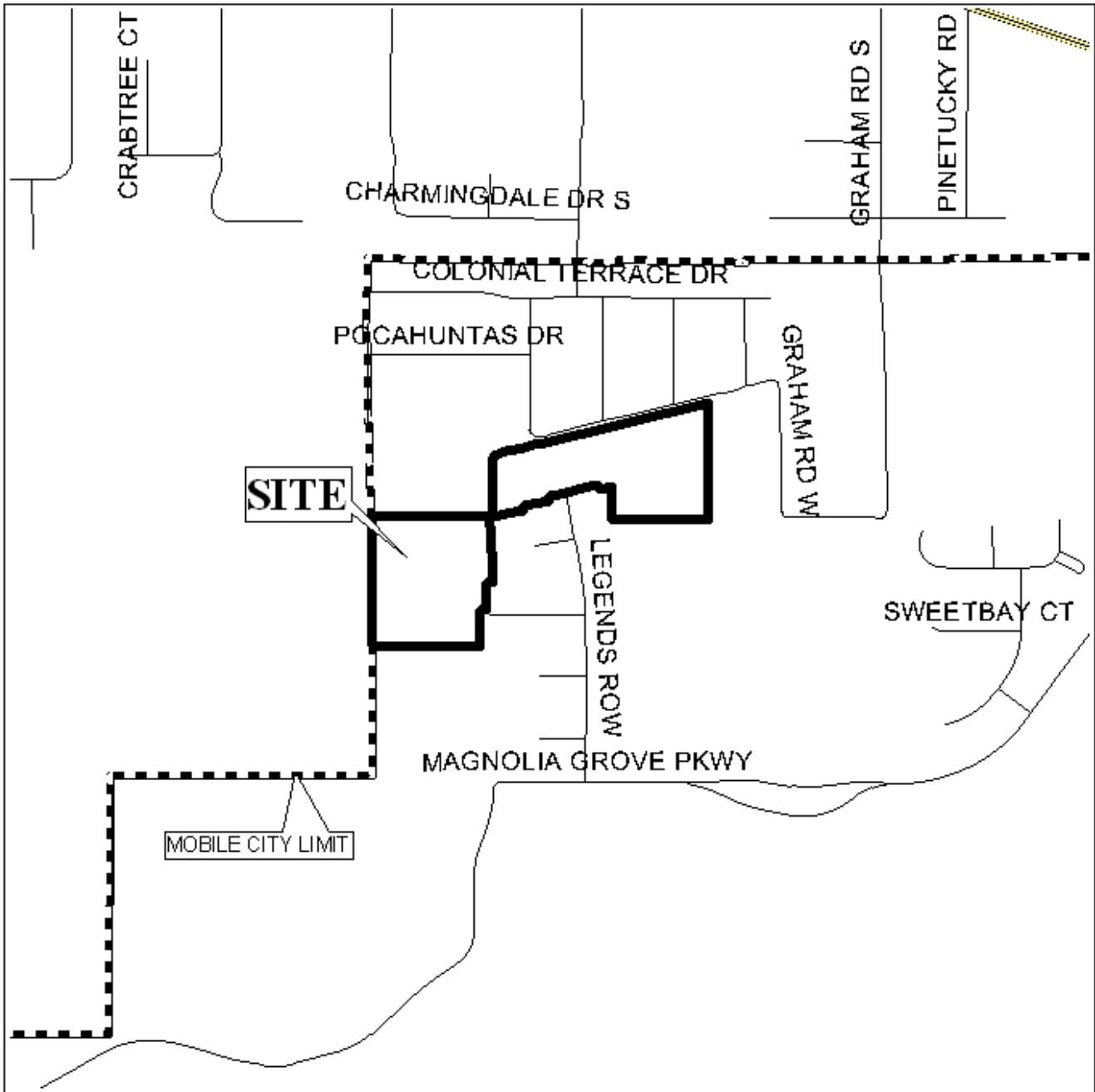
The current application proposes a street stub to the north, connecting the proposed subdivision with Graham Road, a minor street. The proposed subdivision also connects to Legends Row and Champions Run, both minor streets with adequate rights-of-way. Graham Road is not paved, and as per condition number 3 above, the applicant must pave a portion of Graham Road to City standards to reach the paved portion of Mayflower Drive. The area to be paved must be reflected on the Final Plat, and the road improvements must be accepted by the City of Mobile before recording of the Final Plat, if approved.

Proposed Lots 45 and 46 abut a land-locked parcel (R022309322000101.), however, it appears that the subdivision will provide a street-stub to the parcel in question. Proposed Lots 11, 12, 21, 22, 23, 28 and 29 also abut a land-locked parcel (R022309322000102.), and it appears that no provisions have been made for access.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the Final Plat, if approved.

Based upon the preceding, the application is recommended for Holdover for the following reasons: 1) revision of the plat to reflect paving to City standards of a portion of Graham Road sufficient to reach the paved portion of Mayflower Drive; 2) revision of the plat to provide frontage on a public right-of-way for land-locked parcel R022309322000102.; and 3) depiction of the 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations.

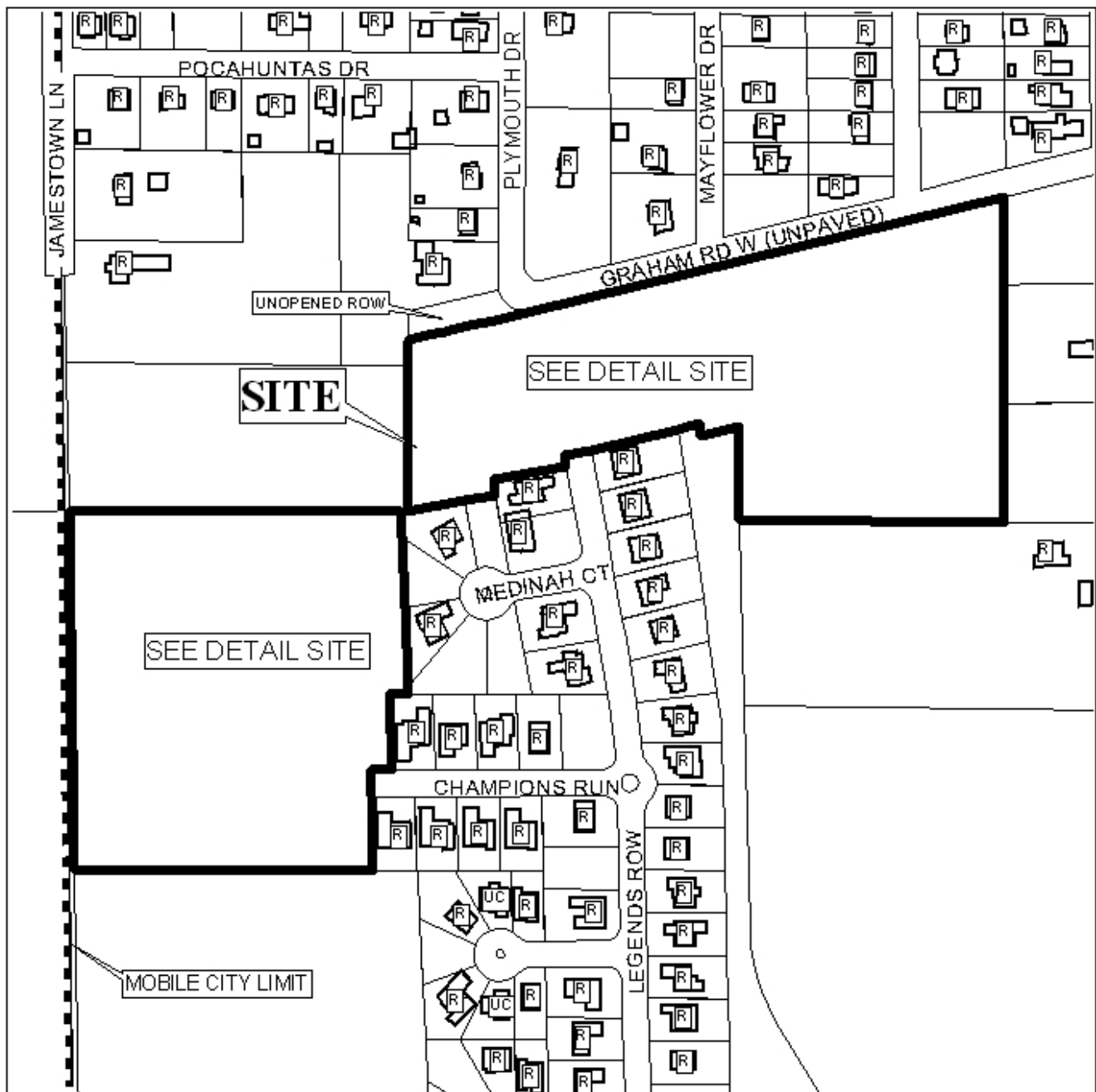
LOCATOR MAP



APPLICATION NUMBER 18 DATE April 6, 2006
APPLICANT The Legends at Magnolia Grove Subdivision, Unit Two
REQUEST Subdivision

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NTS

THE LEGENDS AT MAGNOLIA GROVE SUBDIVISION, UNIT TWO



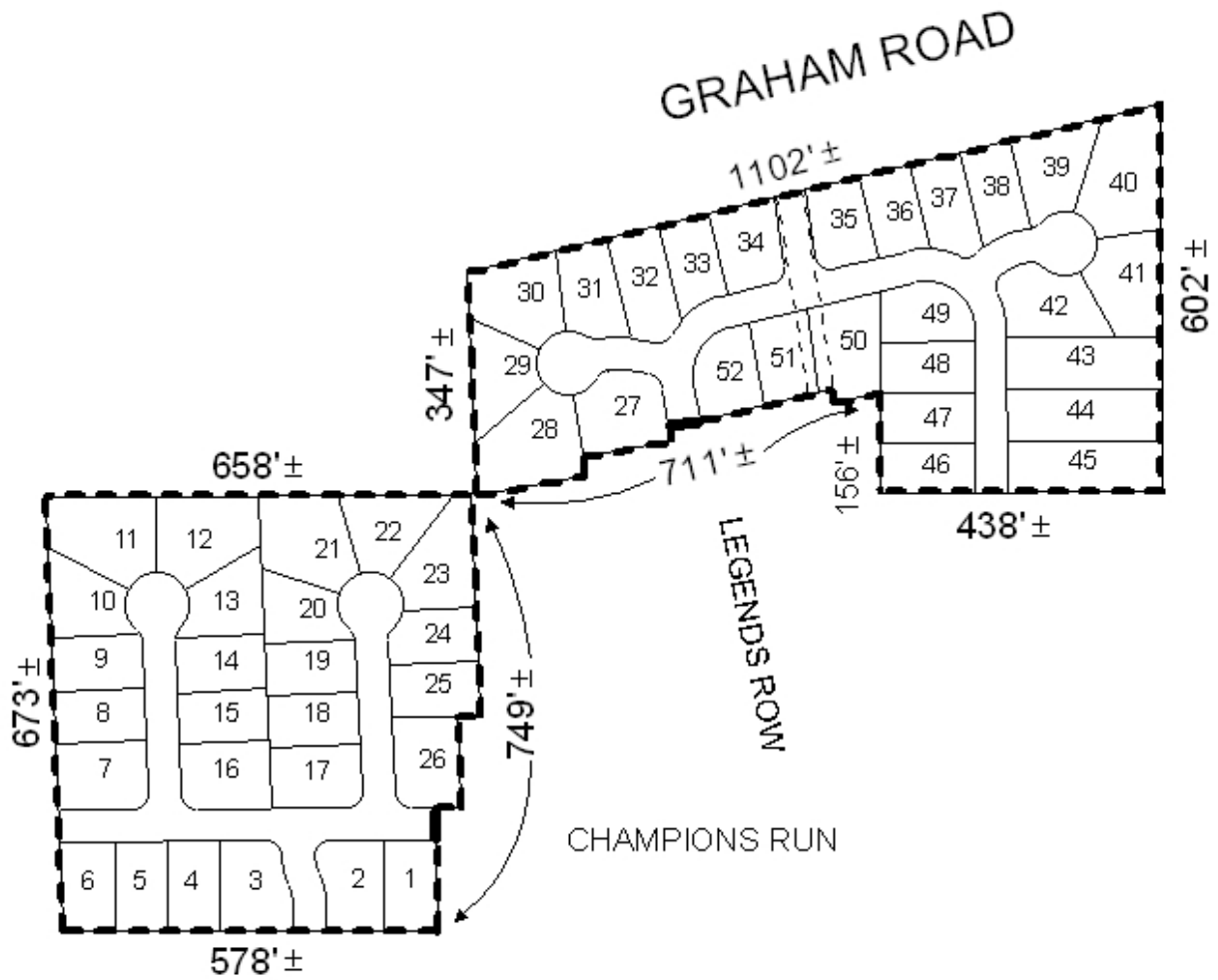
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
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DETAIL SITE PLAN



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N
NTS