

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: June 4, 2015****DEVELOPMENT NAME**

Sunbelt Rentals, Inc.

LOCATION5909 Rangeline Road
(Northeast corner of Rangeline Road and Abigail Drive)**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

I-1, Light Industry District

AREA OF PROPERTY

1 Lot / 2.4± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site with an additional access.

**TIME SCHEDULE
FOR DEVELOPMENT**

Upon approval.

**ENGINEERING
COMMENTS****ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be

required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Rangeline Road is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site with an additional access.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

Portions of the subject site were originally developed prior to the Theodore annexation. In April, 2009, it was the subject of a Rezoning, Planned Unit Development (PUD) and one-lot Subdivision for a proposed expansion. These applications were approved by the Commission and the expansion was done according to the approved PUD site plan with one curb cut to Rangeline Road. The applicant now proposes a curb cut to Abigail Drive. Since approved PUD's are site-plan specific, any changes require a new PUD; hence this application.

The applicant states: *“Project site is located at 5905 Rangeline Road (NE corner of Rangeline Road and Abigail Drive) and zoned I-1. This site consists of three (3) each existing buildings, miscellaneous concrete and limestone paving. There is currently a single access driveway off Rangeline Road service road.”*

“The applicant is requesting approval to construct a new driveway to access the site. This driveway is to be located at Abigail Drive and will provide the owner with a much needed thru-traffic flow for their business. This driveway will provide an exit only movement therefore an area for vehicle queuing is not required.”

“The applicant would like to begin construction as soon as all required approvals have been obtained.”

“Approval of this request will not have a negative impact on this site or the surrounding area and will not create any safety issues.”

The site plan indicates the site as originally approved with very minor differences, primarily the location of a dumpster and some trees, and the proposed new access. The proposed drive to Abigail Drive is indicated to be 30' wide to allow for truck and equipment egress from the site. It should be noted that the Subdivision associated with the previous PUD was conditioned upon the placement of a note on the Final Plat stating that curb cuts be limited to those shown on an approved PUD site plan and not specifically to any number or street frontage. Therefore, no amended Subdivision would be required. And as Abigail Drive is a public street, no other properties would need to be included in this PUD. Therefore, the allowance of the proposed curb cut would seem appropriate, subject to Traffic Engineering approval. As gates are proposed without entry traffic queuing space, and the access is intended for egress only, traffic control signage and/or pavement markings should be placed to indicate one-way egress traffic only.

The site plan indicates only eight frontage trees for the entire site, all along Abigail Drive. Other trees are indicated, but beyond the frontage setback. As the original site plan also indicated frontage trees along Rangeline Road within the setback, and the PUD was approved with a condition of the provision of trees / landscaping in compliance with I-1 standards for frontage trees, the site plan should be revised to provide all required frontage trees within the setback. The site plan also indicates an exposed relocated existing dumpster whereas the originally-approved PUD indicated one with enclosure. Therefore, the site plan should be revised to indicate the dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance.

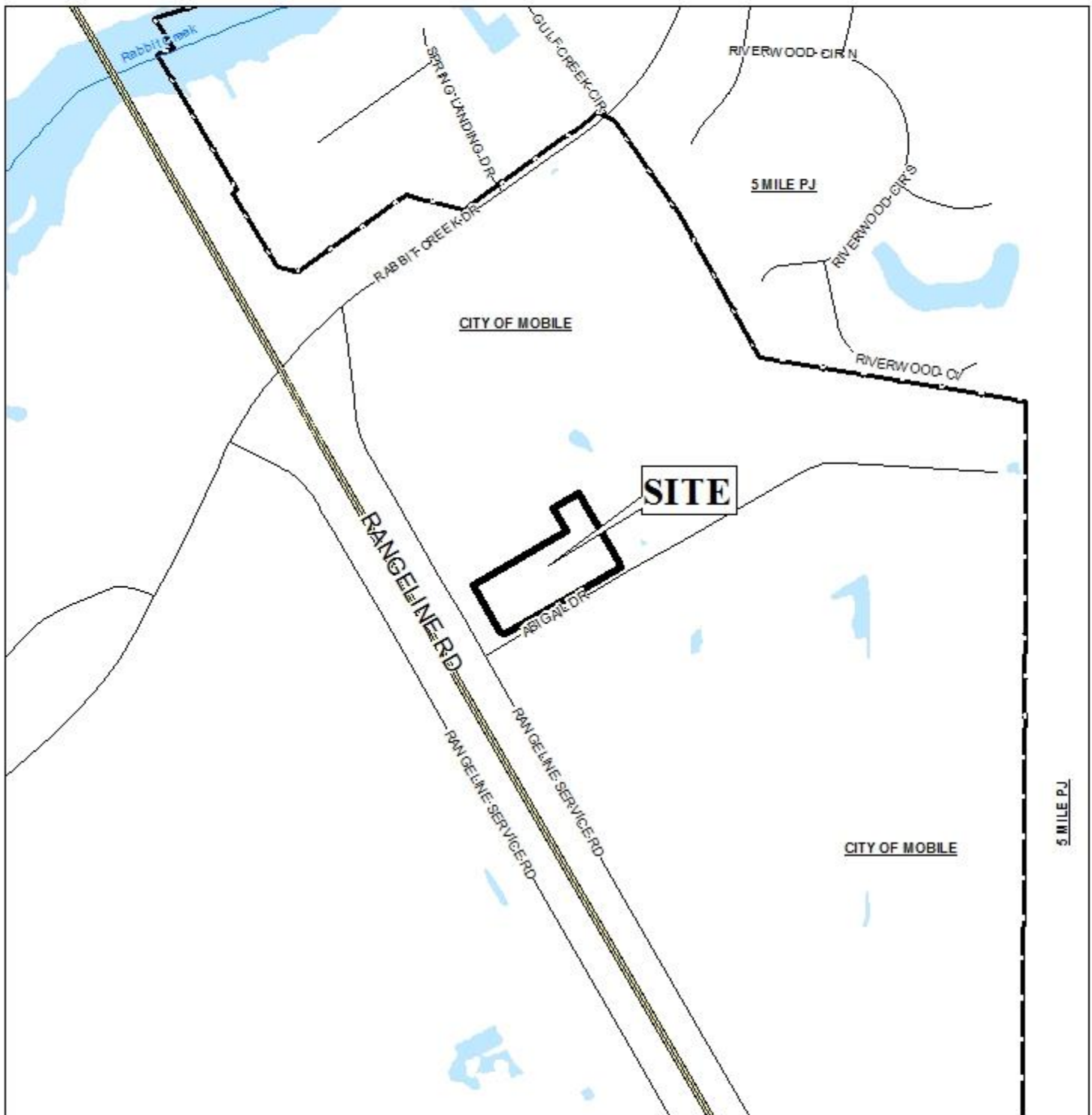
No sidewalk is indicated to be provided along the public street frontages; however, the site was granted a Sidewalk Waiver for both frontages in 2009.

Any new lighting of the site must comply with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance.

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) revision of the site plan to indicate traffic control signage and/or pavement markings limiting the Abigail Drive access to one-way egress traffic only;
- 2) revision of the site plan to provide the required frontage trees within the setback along Rangeline Road and Abigail Drive;
- 3) revision of the site plan to indicate the dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance;
- 4) placement of a note on the site plan stating that any new lighting must comply with Sections 64-4.A.2., 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance;
- 5) compliance with the Engineering comments: *[ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.];*
- 6) compliance with the Traffic Engineering comments: *[Rangeline Road is an ALDOT maintained roadway. Driveway number, size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.];*
- 7) compliance with the Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64);*
- 8) compliance with the Fire Department comments: *[(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)];*
- 9) full compliance with all other municipal codes and ordinances; and
- 10) submittal of a revised site plan to Planning reflecting all conditions of approval prior to the submittal for development permits.

LOCATOR MAP



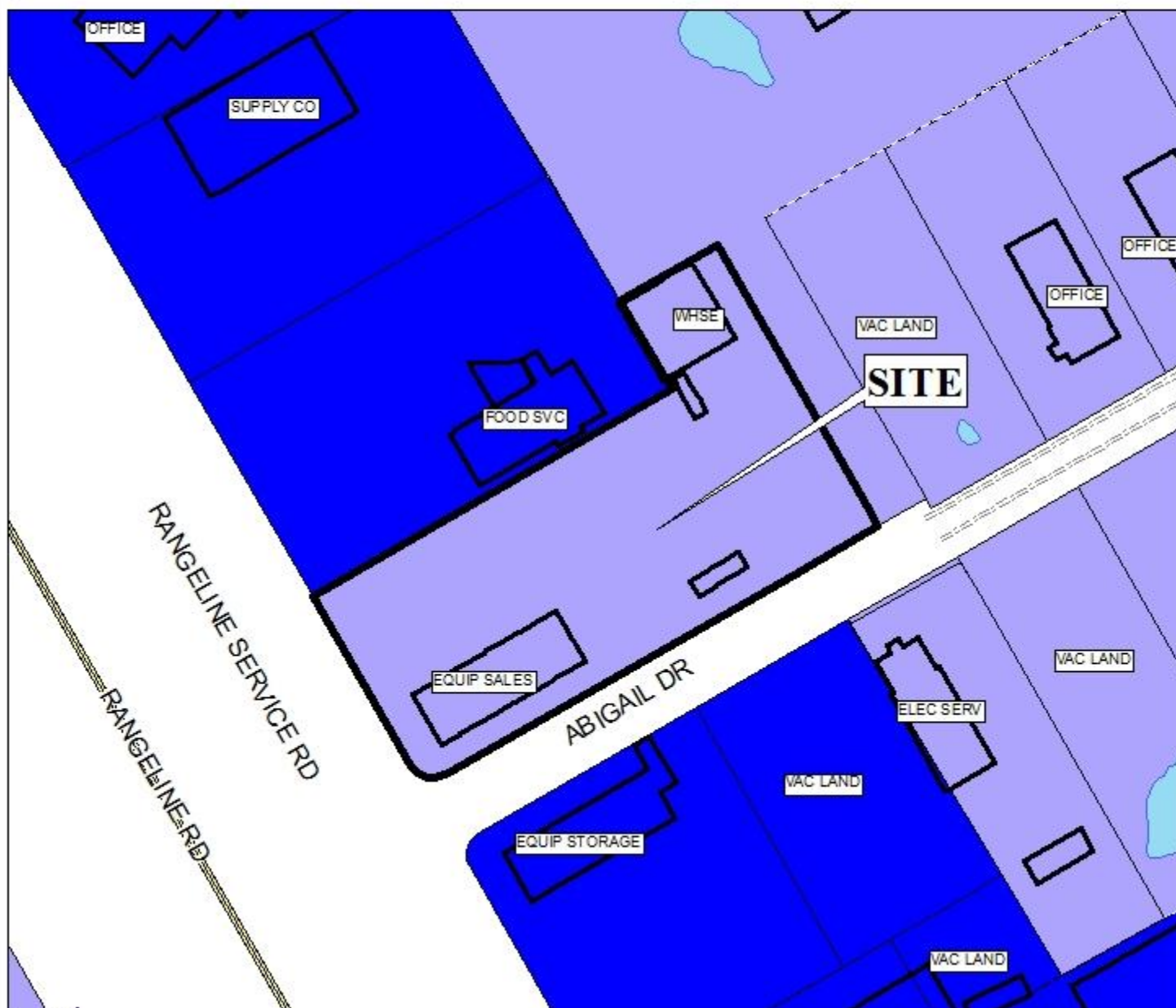
APPLICATION NUMBER 18 DATE June 4, 2015

APPLICANT Sunbelt Rentals, Inc.

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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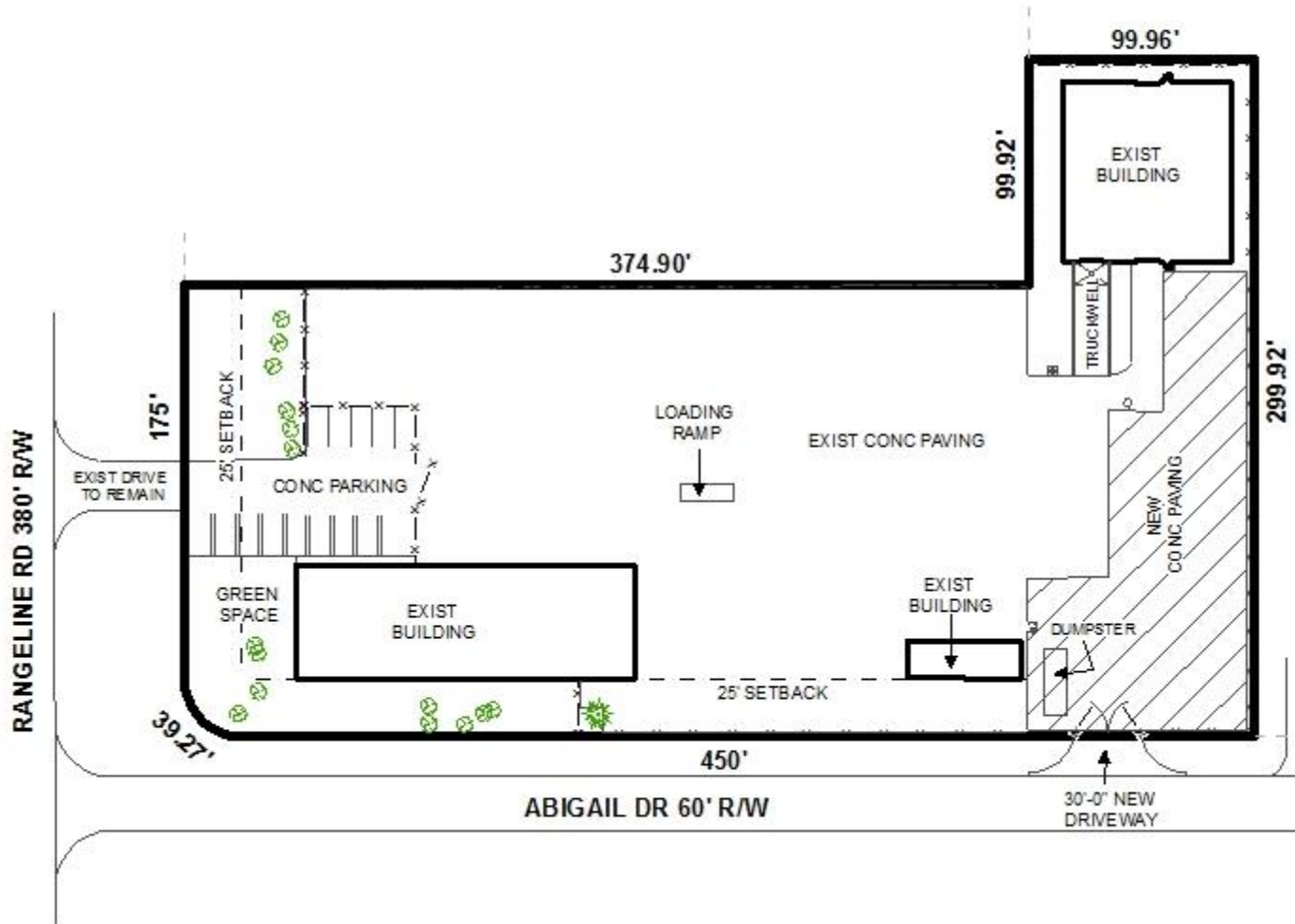
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SITE PLAN



The site plan illustrates the existing buildings, existing drive, new drive, setbacks, and trees.

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