

DAWES CREEK SUBDIVISION, RESUBDIVISION **OF LOTS 25, 26, 27, 29, 30, AND 31**

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 4-lot, 2.6± acre subdivision which is located on the Southeast corner of Dawes Creek Drive and Airport Road, and North side of Dawes Creek Drive, 110'± East of Airport Road. The subdivision is served by city water and sanitary sewer.

The purpose of this application is to resubdivide six legal lots of record and create 4-lots.

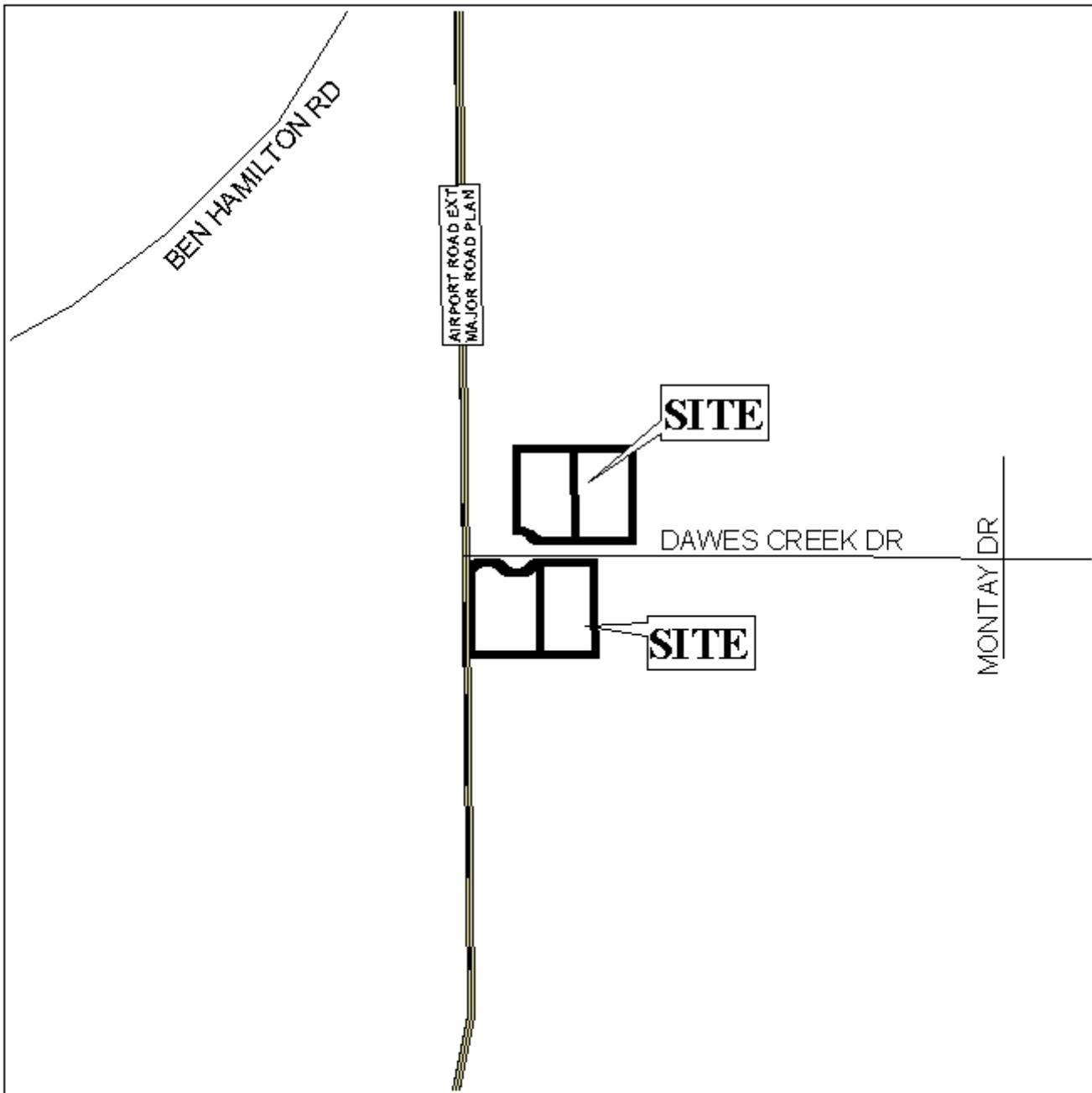
Airport Road, which has an existing right-of-way of 80-feet, is shown as a major street on the Major Street Plan, and as such requires a 100-foot right-of-way; however, there is adequate right-of-way (50-feet) from the centerline of Airport Road to the site. As a means of access management, as illustrated Lot 3 would provide approximately 188-foot of road frontage on Airport Road, a planned major street; therefore, a note should be placed on the final plat stating that Lot 3 is denied direct access to Airport Road, should be required.

Since the site is located in the County, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property, shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The required twenty-five foot minimum building setback lines along Airport Road are not illustrated, but will be required on the final plat.

With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the placement of a note on the final plat stating that Lot 3 is denied direct access to Airport Road; 2) the placement of a note on the final plat stating that any lot that is developed commercially and adjoins residentially developed property shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and 3) placement of the required 25-foot minimum building setback lines on the final plat.

LOCATOR MAP



APPLICATION NUMBER 18 DATE April 7, 2005

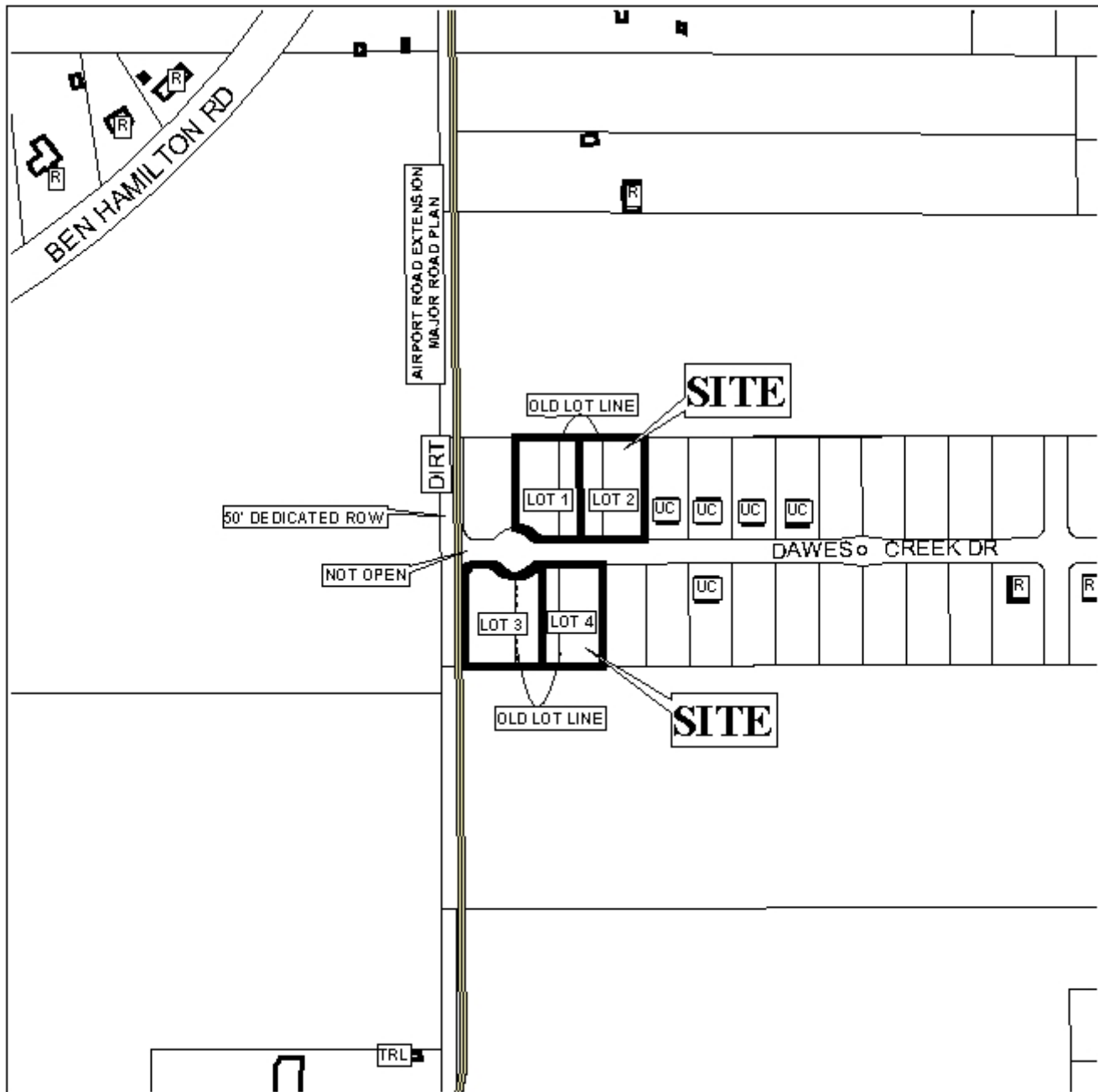
APPLICANT Dawes Creek Subdivision, Resubdivision of Lots 25, 26, 27, 19, 30, and 31

REQUEST Subdivision



NTS

DAWES CREEK SUBDIVISION, RESUBDIVISION OF LOTS 25, 26, 27, 29, 30, AND 31



APPLICATION NUMBER 18 DATE April 7, 2005

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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