

RANGELINE BUSINESS PARK SUBDIVISION, **UNIT TWO**

Engineering Comments: The widths and locations of the proposed drainage easements will need to be coordinated with City Engineering. Applicant shall provide a copy of the construction plans for the proposed subdivision as approved by Mobile County Engineering. Following satisfactory completion of the construction of the roadway and drainage as permitted by Mobile County Engineering, a final street acceptance package shall be submitted to City Engineering for approval. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 17 lot, 19.0 acre \pm subdivision which is located at the East terminus of Abigail Drive, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide an existing metes and bounds parcel into 17 legal lots-of-record. This application is similar to the Rangeline Business Park Subdivision which was originally approved by the Planning Commission on July 24, 2008. Unit One of that subdivision was ultimately recorded, however, the remainder was not, and the approval expired. It should be noted that Unit One is also being heard at this Planning Commission meeting for a revision. While not precisely the same lot dimensions, this application is substantially similar, except for the site now being inside the City Limits of Mobile.

The proposed lots, as depicted, meet the minimum size and frontage requirements as regulated by the Subdivision Regulations. The areas of the lots are not depicted on the plat, and should be shown on the Final Plat in square feet, or a table provided on the Final Plat with the same information, if approved.

All of the lots are proposed to front Abigail Drive which is depicted as being under construction. Adequate right-of-way of 50 feet is depicted. Further, the turnaround at the end of Abigail Drive is depicted with a 60-foot radius, which is adequate to comply with Section V.B.14 of the

Subdivision Regulations. The street will need to be constructed to City of Mobile Standards, and accepted by the City of Mobile for maintenance prior to the signing of the Final Plat.

It should be noted that Abigail Drive is a closed-end street and, with this proposed extension, will be approximately 975-feet in length. The maximum length for a closed-end street, as per Section V.B.6 of the Subdivision Regulations, is 600 feet. As the commission has previously approved a subdivision in this same area, which proposed Abigail Drive to be the same length, and the fact that this site abuts platted properties to the east, a waiver of Section V.B.6 may be appropriate.

The 25-foot minimum building setback line is depicted on the preliminary plat, and this should be retained on the final plat, if approved.

Due to the limited width of 16 of the 17 lots, all lots should be restricted to one curb-cut, with the exception of Lot 9, which should be limited to two curb-cuts, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards.

Two residential subdivisions, Riverwood Estates, Phase Three, and Mandrell's Addition to Hollinger's Island Subdivision border the Northern and Eastern boundaries of the site. These residential subdivisions are not located in the City Limits, and thusly are not zoned. This site is zoned I-1, Light Industrial. In order to buffer potential commercial and industrial uses from the residential subdivisions, development within the Rangeline Business Park Subdivision will be required to provide a buffer which complies with Section V.A.8 of the Subdivision Regulations. A note should be placed on the Final Plat, if approved, requiring buffer compliance.

All common areas and common detention facilities, if any, should be labeled as such, and a note placed on the Final Plat stating that the maintenance of said facilities is the responsibility of the property owners.

A portion of the site may contain wetlands. The possible presence of wetlands indicates that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

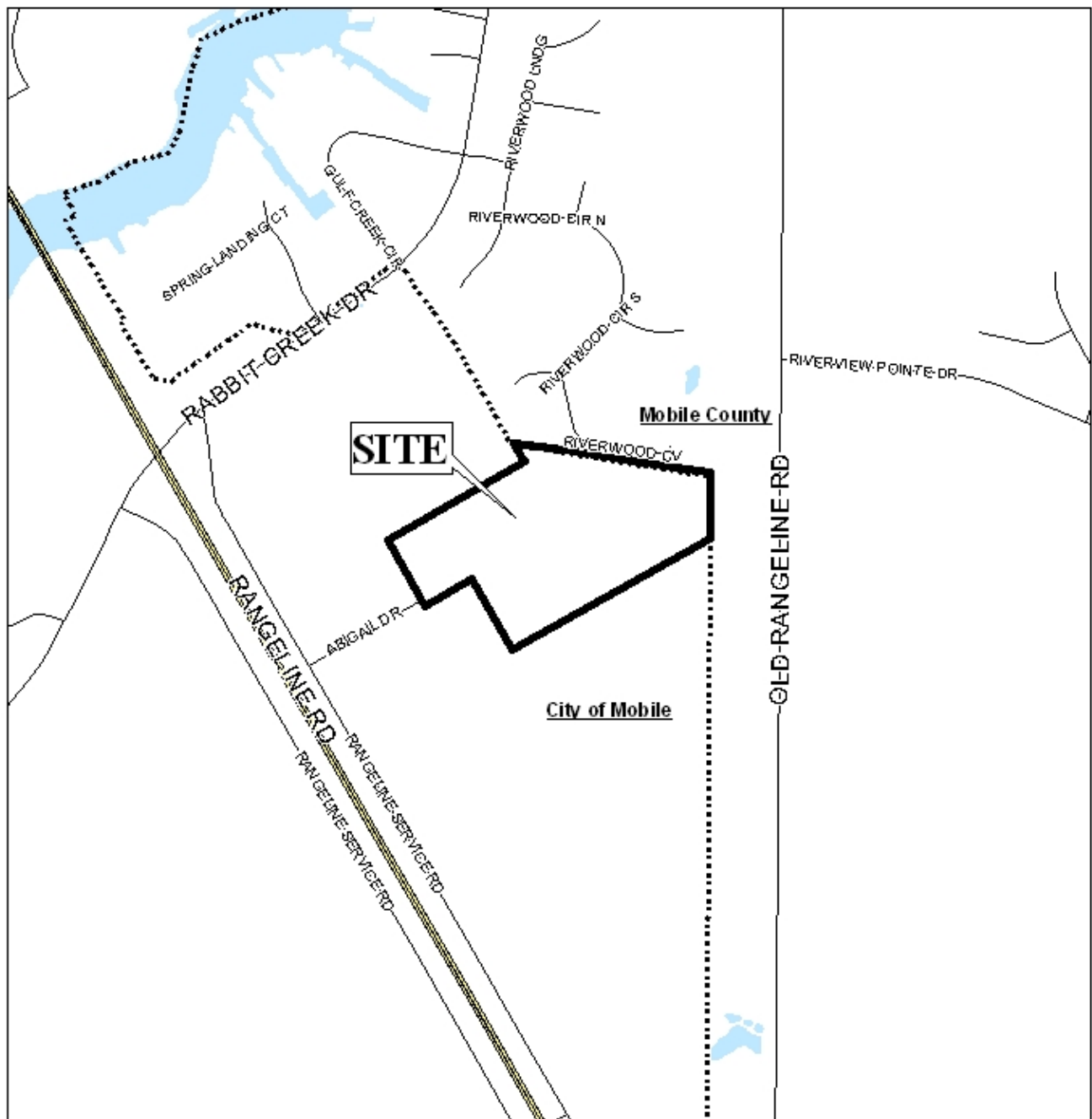
Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with a waiver of Section V.B.6 of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) completion of Abigail Drive to City Standards, and acceptance of the same prior to the signing of the Final Plat;
- 2) depiction of the lot sizes, in square feet, or provision of a table on the Final Plat with the same information;

- 3) retention of the 25-foot minimum building setback line on the Final Plat;
- 4) placement of a note on the Final Plat stating that each lot is limited to one curb cut to Abigail Drive except Lot 9, which is limited to two curb cuts to Abigail Drive, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating that maintenance of all common areas and common detention facilities is the responsibility of the property owners;
- 6) compliance with City Engineering comments: *The widths and locations of the proposed drainage easements will need to be coordinated with City Engineering. Applicant shall provide a copy of the construction plans for the proposed subdivision as approved by Mobile County Engineering. Following satisfactory completion of the construction of the roadway and drainage as permitted by Mobile County Engineering, a final street acceptance package shall be submitted to City Engineering for approval. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer;*
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations;
- 8) placement of a note on the Final Plat stating that approval of federal, state and local agencies, as necessary due to wetlands, prior to the issuance of any permits; and
- 9) placement of a note on the Final Plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

LOCATOR MAP



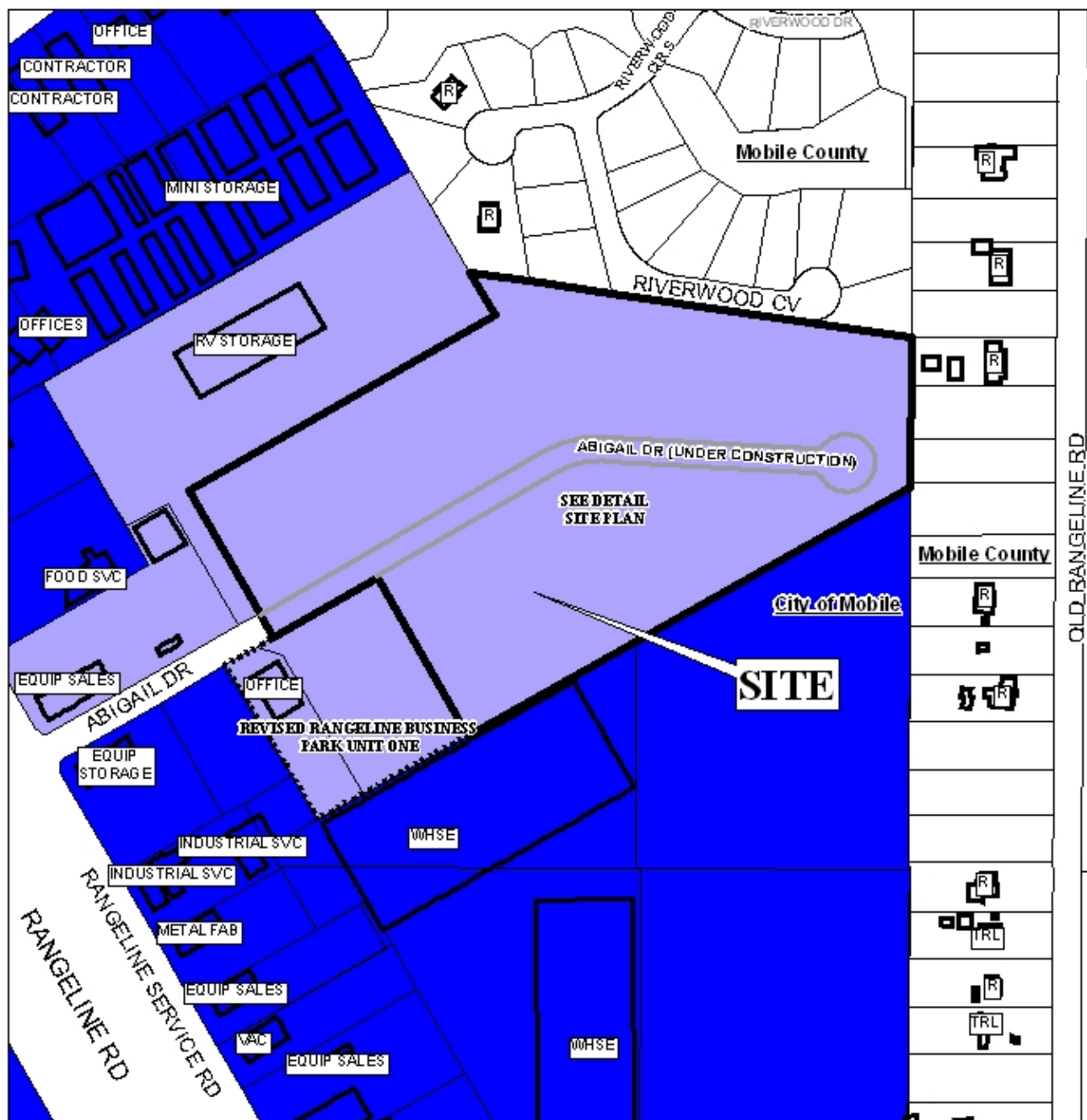
APPLICATION NUMBER 18 DATE February 4, 2010

APPLICANT Rangeline Business Park Subdivision, Unit Two

REQUEST Subdivision



RANGELINE BUSINESS PARK SUBDIVISION, UNIT TWO



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LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
NTS

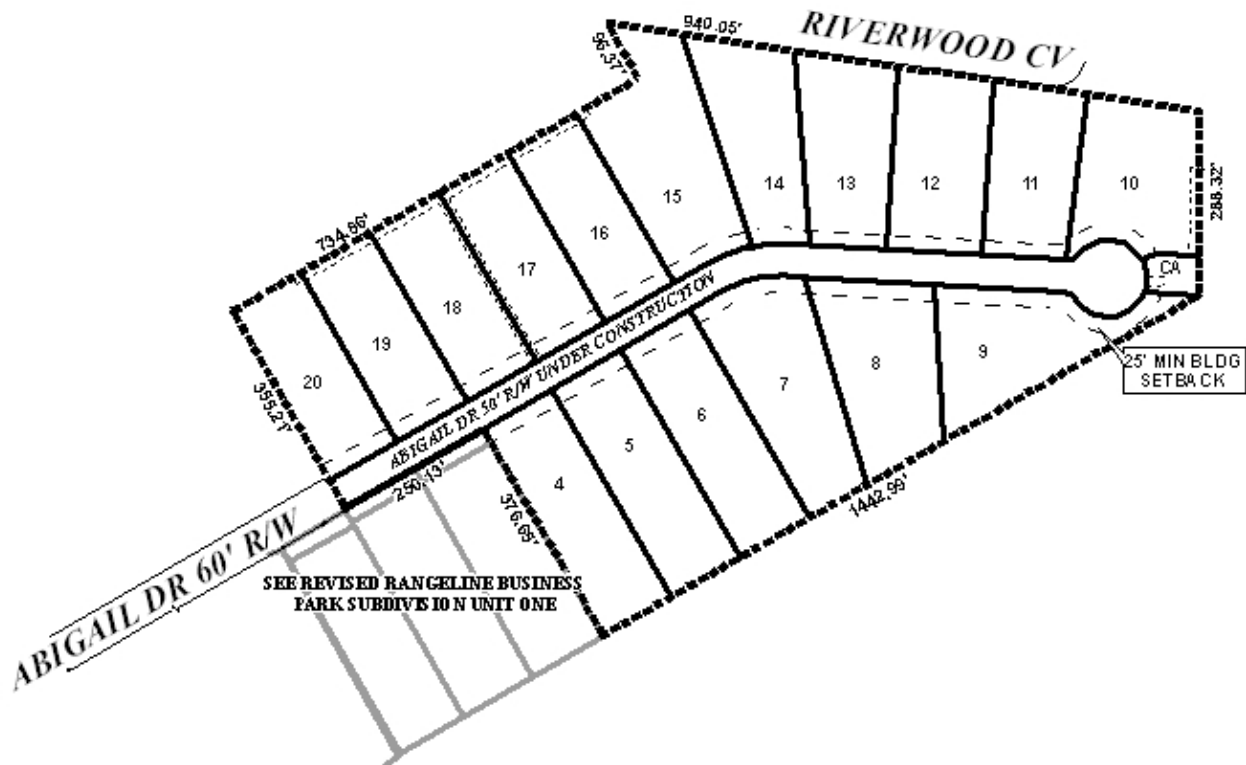
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DETAIL SITE PLAN



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