

**SUBDIVISION,
PLANNED UNIT DEVELOPMENT, &
PLANNING APPROVAL
STAFF REPORT****Date: September 7, 2017**

<u>APPLICANT NAME</u>	Quercus Investments LLC (Alexander Nicolson)
<u>SUBDIVISION NAME</u>	Pine Spring Subdivision
<u>DEVELOPMENT NAME</u>	Pine Spring Subdivision
<u>LOCATION</u>	1007 Spring Hill Avenue and 118 North Pine Street (Southeast corner of Spring Hill Avenue and North Pine Street).
<u>CITY COUNCIL DISTRICT</u>	District 2.
<u>PRESENT ZONING</u>	B-4, General Business District.
<u>AREA OF PROPERTY</u>	0.2 ± acres.
<u>CONTEMPLATED USE</u>	Subdivision approval to create a single legal lot of record from a single metes-and-bounds parcel; Planned Unit Development to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and shared parking between two building sites; and Planning Approval to amend a previous Planning Approval to allow the operation of a furniture manufacturing company in a B-4, General Business District.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not specified.
<u>ENGINEERING COMMENTS</u>	

Subdivision: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale,

bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.

- B. Add a vicinity map.
- C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of Spring Hill Ave. and Lafayette St. to the City of Mobile, and list the amount of dedicated acreage.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.

Planned Unit Development: ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and ALDOT and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Planning Approval:

No Comments

TRAFFIC ENGINEERING**COMMENTS**

Site is limited to the existing curb cuts with any changes in number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)

REMARKS

The applicant is requesting Subdivision approval to create a single legal lot of record from a single legal lot of record and a single metes-and-bounds parcel; Planned Unit Development to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and shared parking between; and Planning Approval to amend a previous Planning Approval to allow the operation of a furniture manufacturing company in a B-4, General Business District..

The site most recently had a Planning Approval and Planned Unit Development approved by the Planning Commission at its May 18, 2017 meeting. The applicant now wishes to include an adjacent property to allow for additional parking.

The site has been given a Traditional Corridor (TC) land use designation, per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation generally applies to transportation corridors east of I-65, which serve as the primary commercial and mixed-use gateway to Downtown and the City's traditional neighborhoods (equivalent to Map for Mobile's Traditional Neighborhoods).

Depending on their location (and as allowed by specific zoning), TC designations incorporate a range of moderately scaled single-use commercial buildings holding retail or services; buildings that combine housing units with retail and/or office; a mix of housing types including low- or mid-rise multifamily structures ranging in density from 4 to 10 du/ac; and attractive streetscapes and roadway designs that safely accommodate all types of transportation – transit, bicycling, walking, and driving. In these areas, special emphasis is placed on the retention of existing historic structures, compatible infill development, and appropriate access management.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Spring Hill Avenue, a major street with a right-of-way illustrated as 100-feet, which in compliance with the Major Street Plan, and North Pine Street a minor street, with a compliant 50-foot right-of-way width. Due to sufficient right-of-way, no dedication is required.

The preliminary plat does not illustrate minimum building setbacks. B-4 zoning districts allow 0' setbacks and therefore a waiver of Section V.D.9. of the Subdivision Regulations may be appropriate. If approved, the Final Plat should include a note stating that a 0-foot setback is allowed.

The lot size is provided in square feet and acres, and if approved, should retained on the Final Plat.

As a means of access management, this site should be limited to the existing curb cuts, with changes in the size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate

access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the PUD reviews are site plan specific; therefore any future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for PUD application will be required. Finally, PUD approvals expire in one year if no permits are obtained.

The proposed site plan illustrates shared parking between two lots. There are two existing buildings at 1007 Spring Hill Avenue and one existing building at 116 Pine Street. The applicant states that the northern most building ("building A") is 1400± square feet and is currently leased as office space. Building "B" is 4,500± square feet and would be used for a custom woodworking business. The applicant also states that there would be a small office within building "B" with one employee with an occasional part time helper on site. The applicant states that the existing building at 116 Pine Street is approximately 1100± square feet and is currently not leased. It is the applicant's desire to lease the space in the future for any B-4 permitted use.

The preliminary plat illustrates a total of 11 parking spaces on site, which is compliant with regards to the proposed uses at this location.

The site plan does not illustrate a dumpster on the property. If approved, and if dumpster will be utilized, it should be illustrated on the site plan or a note should be placed on the site plan stating that garbage collection will be via curb-side pick-up.

A privacy fence is depicted where the site is adjacent to R-1, Single Family Residential District property. The applicant has included a letter from the adjacent property owner requesting a waiver of the requirement of a fence. It is the applicant as well as the adjacent property owner's desire to "keep the space open and natural". The letter explains difficulties accessing and maintaining the properties if a fence were required.

RECOMMENDATION

Subdivision: With a waiver of Section V.D.9. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the Final Plat stating that setbacks shall comply with the Zoning Ordinance requirements;
- 2) Retention of the 100' right-of-way width to Springhill Avenue;
- 3) Retention of the 50' right-of-way width to Pine Street;
- 4) Retention of the lot size information on both square feet and acres;

- 5) Placement of a note on the Final Plat stating the site is limited to the existing curb cuts, with any changes to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards;
- 6) compliance with Engineering Comments: (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a vicinity map. C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of Spring Hill Ave. and Lafayette St. to the City of Mobile, and list the amount of dedicated acreage. D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. I. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. J. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL (with all other signatures) and one (1) copy (signatures not required) of the revised Final Plat to the Engineering Department.);*
- 7) Compliance with Traffic Engineering Comments: (*Site is limited to the existing curb cuts with any changes in number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 8) Compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code);*
- 9) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64); and*
- 10) Provision of revised PUD and PA site plans prior to the signing of the Final Plat.

Planned Unit Development: This application is recommended for Approval, subject to the following conditions:

- 1) Provision of a dumpster on the site plan or provision of a note stating that garbage collection will be via curb-side pick-up;
- 2) compliance with Engineering Comments: (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and ALDOT and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.*);
- 3) Compliance with Traffic Engineering Comments and placement as a note on the site plan: (*Site is limited to the existing curb cuts with any changes in number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);
- 4) Compliance with Fire Department comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code);*
- 5) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64); and*
- 6) submission of three revised Planned Unit Development site plans prior to the signing of the Final Plat.

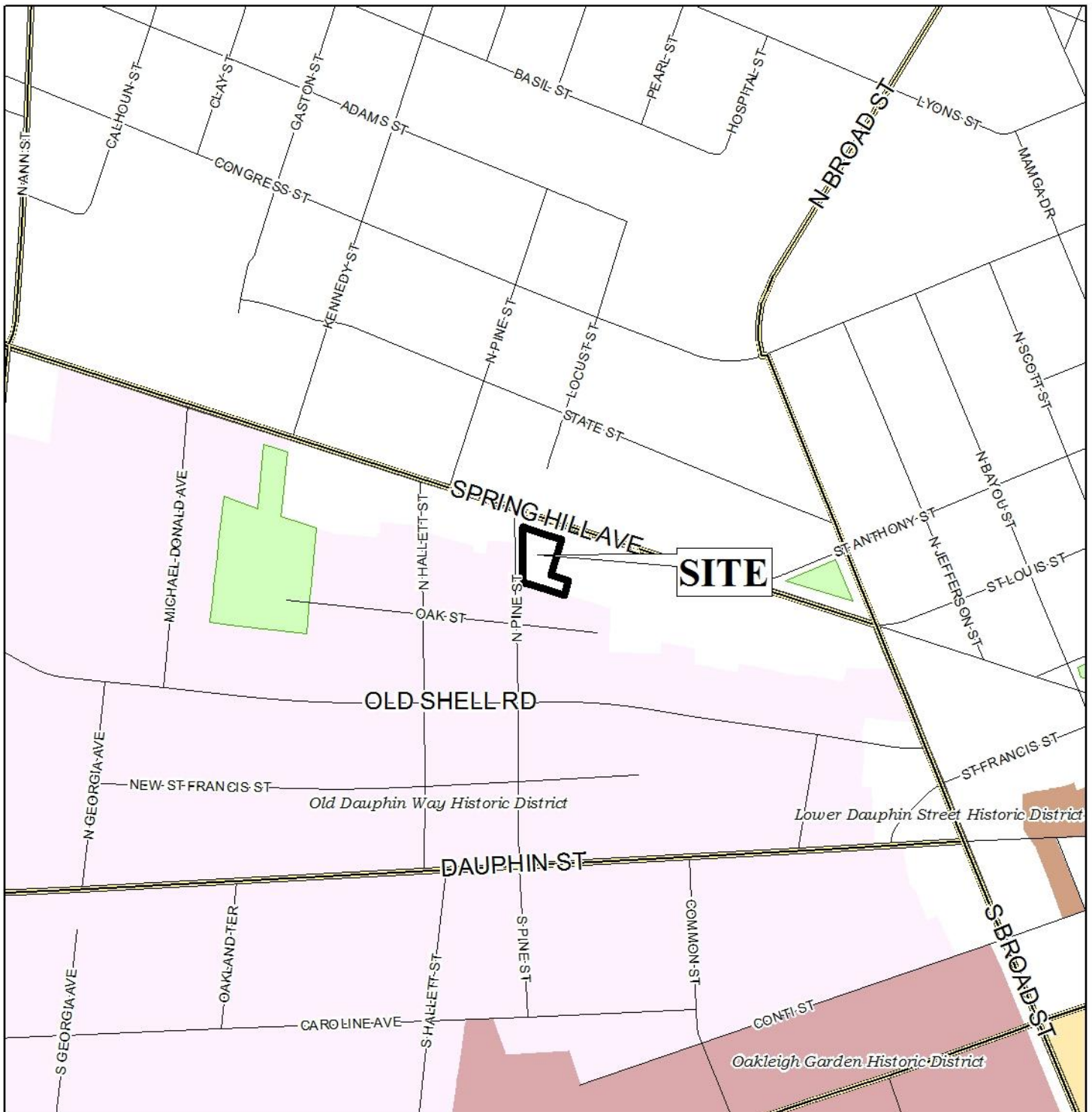
Planning Approval: This application is recommended for Approval, subject to the following conditions:

- 1) Provision of a dumpster on the site plan or provision of a note stating that garbage collection will be via curb-side pick-up;
- 2) compliance with Engineering Comments: (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping*

will require a ROW permit from the City of Mobile Engineering Department (208-6070) and ALDOT and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);

- 3) *Compliance with Traffic Engineering Comments and placement as a note on the site plan: (Site is limited to the existing curb cuts with any changes in number, size, location and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 4) *Compliance with Fire Department comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code);*
- 5) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64); and*
- 6) *submission of three revised Planning Approval site plans prior to the signing of the Final Plat.*

LOCATOR MAP



APPLICATION NUMBER 18 DATE September 7, 2017

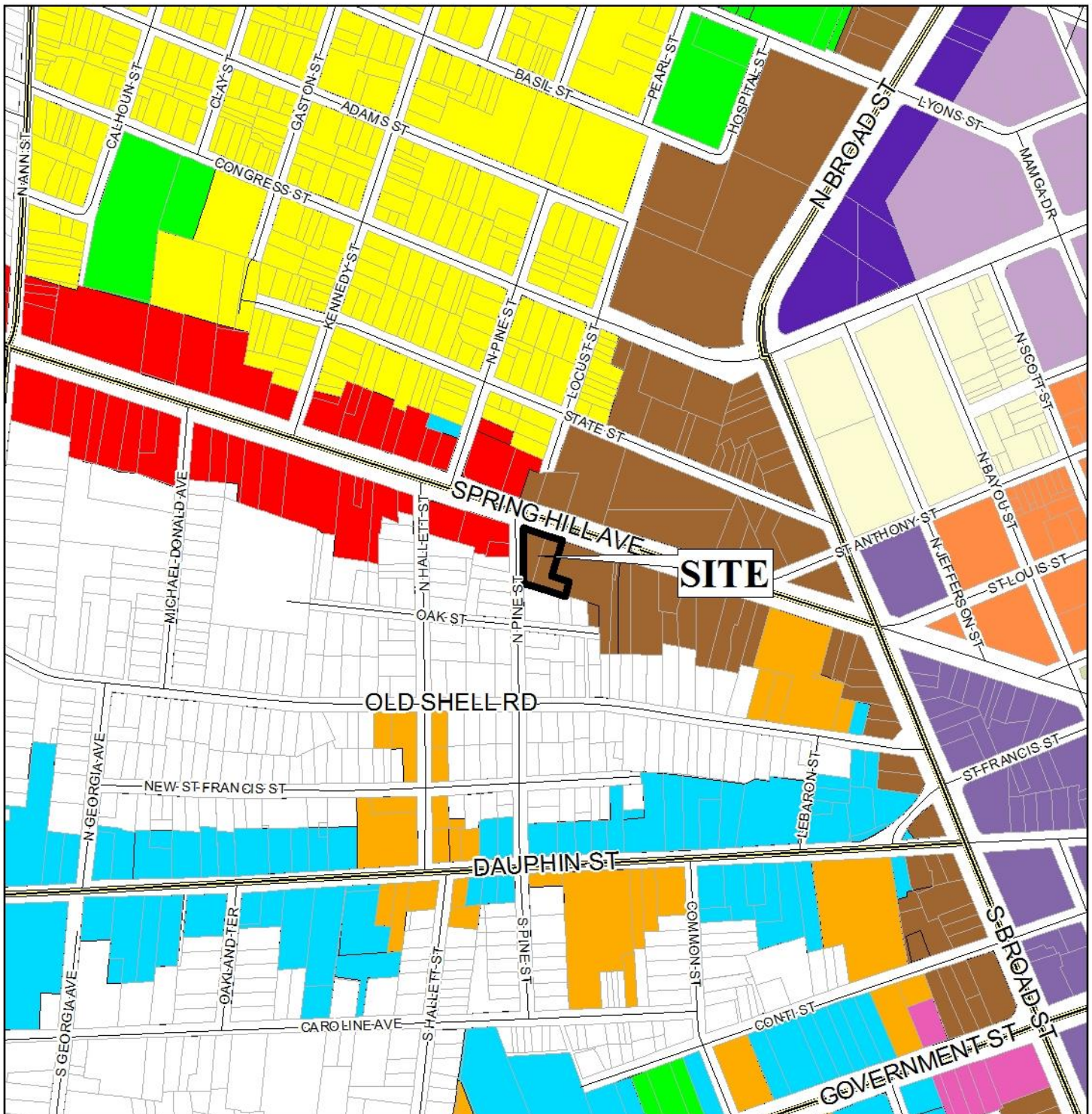
APPLICANT Pine Spring Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval



NTS

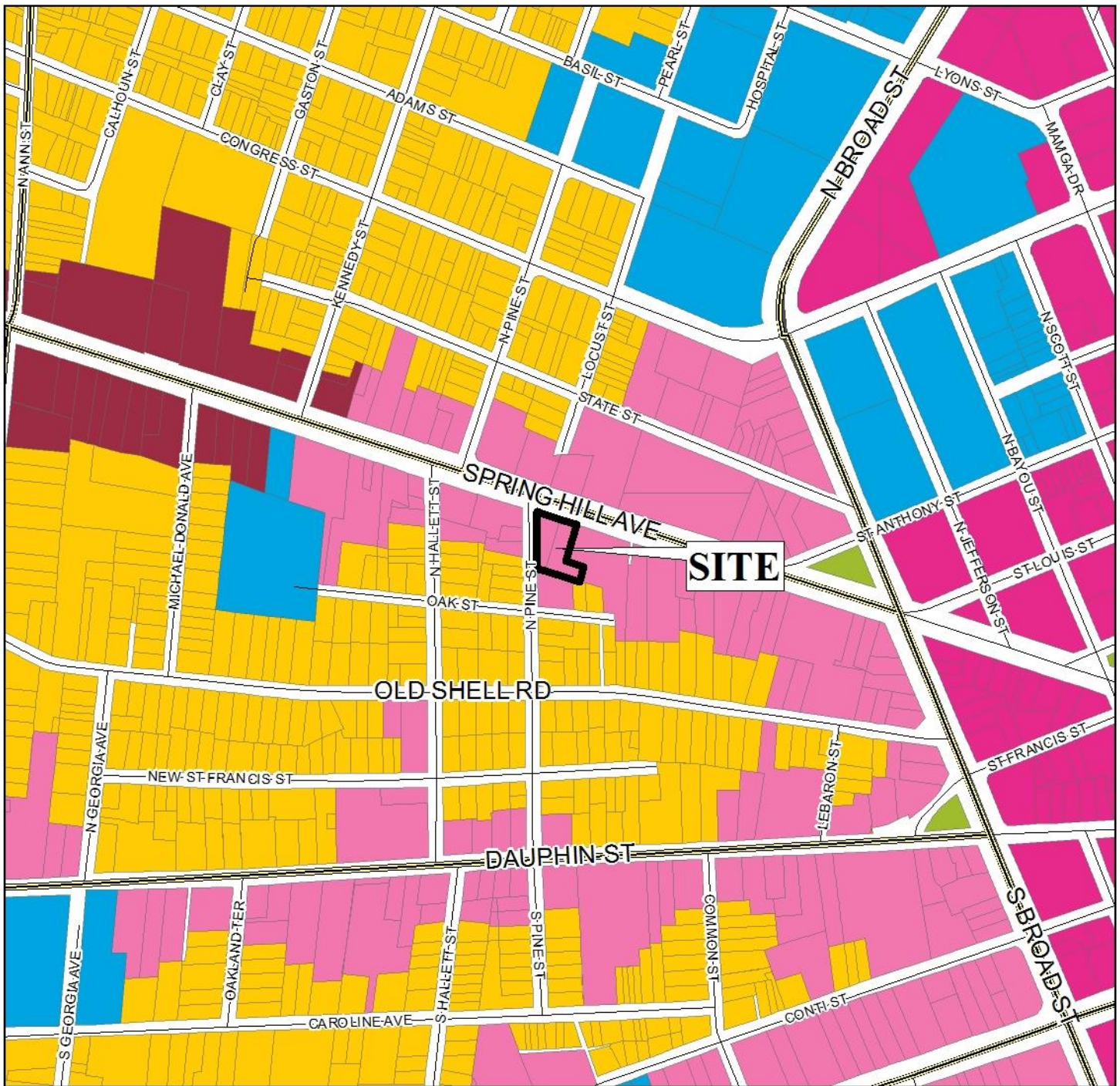
LOCATOR ZONING MAP



APPLICATION NUMBER 18 DATE September 7, 2017
APPLICANT Pine Spring Subdivision
REQUEST Subdivision, Planned Unit Development, Planning Approval



FLUM LOCATOR MAP



APPLICATION NUMBER 18 DATE September 7, 2017

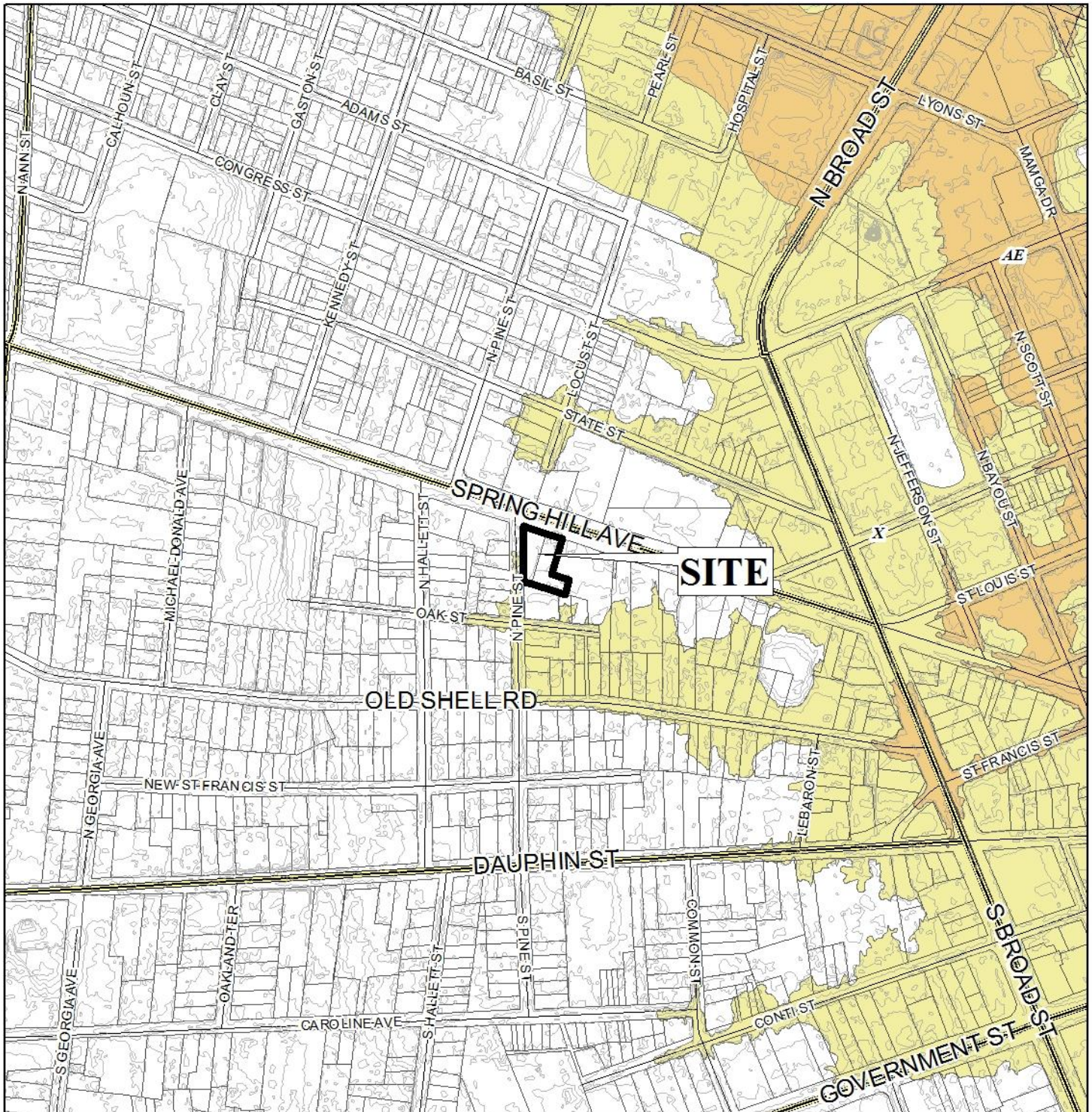
APPLICANT Pine Spring Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval

Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 18 DATE September 7, 2017
APPLICANT Pine Spring Subdivision
REQUEST Subdivision, Planned Unit Development, Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the south and commercial units to the east and west.

APPLICATION NUMBER 18 DATE September 7, 2017

APPLICANT Pine Spring Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

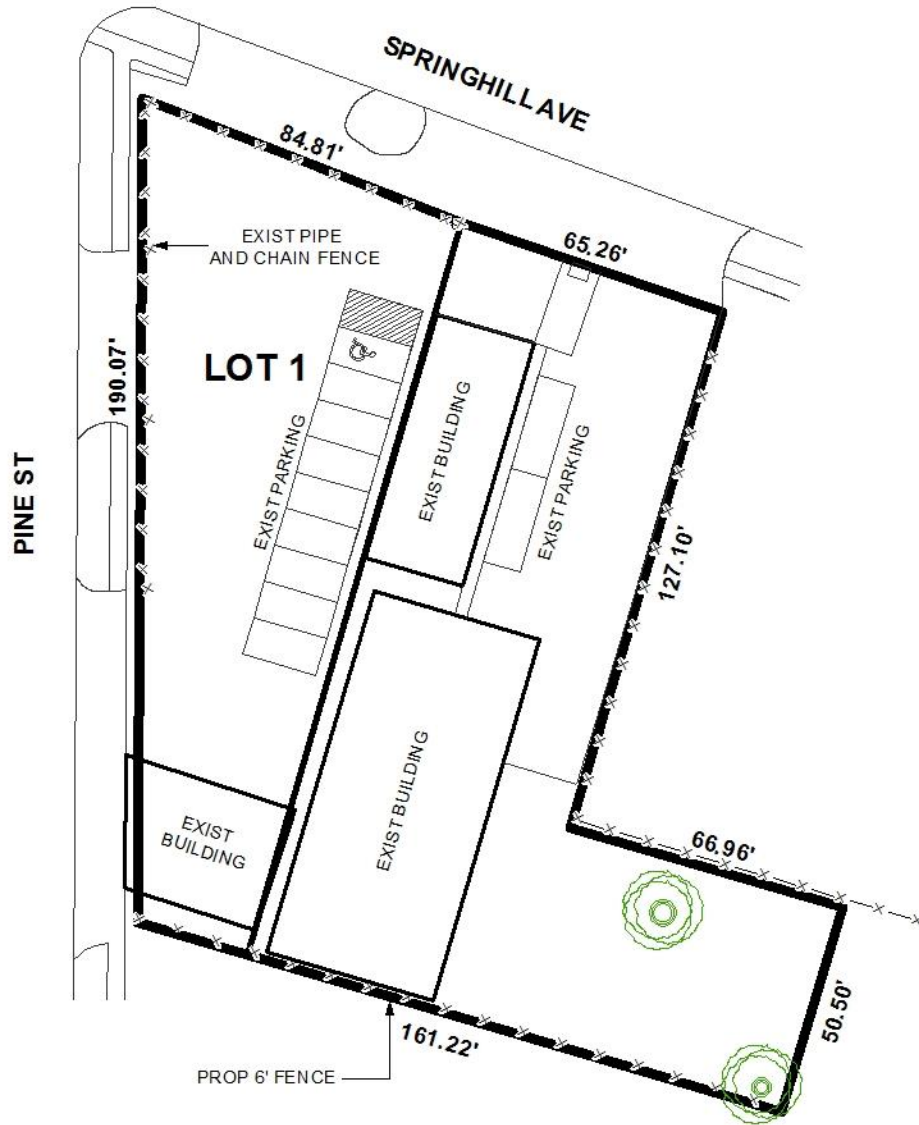


The site is surrounded by residential units to the south and commercial units to the east and west.

APPLICATION NUMBER 18 DATE September 7, 2017
 APPLICANT Pine Spring Subdivision
 REQUEST Subdivision, Planned Unit Development, Planning Approval



SITE PLAN



The site plan illustrates the existing buildings and existing parking.

APPLICATION NUMBER 18 DATE September 7, 2017

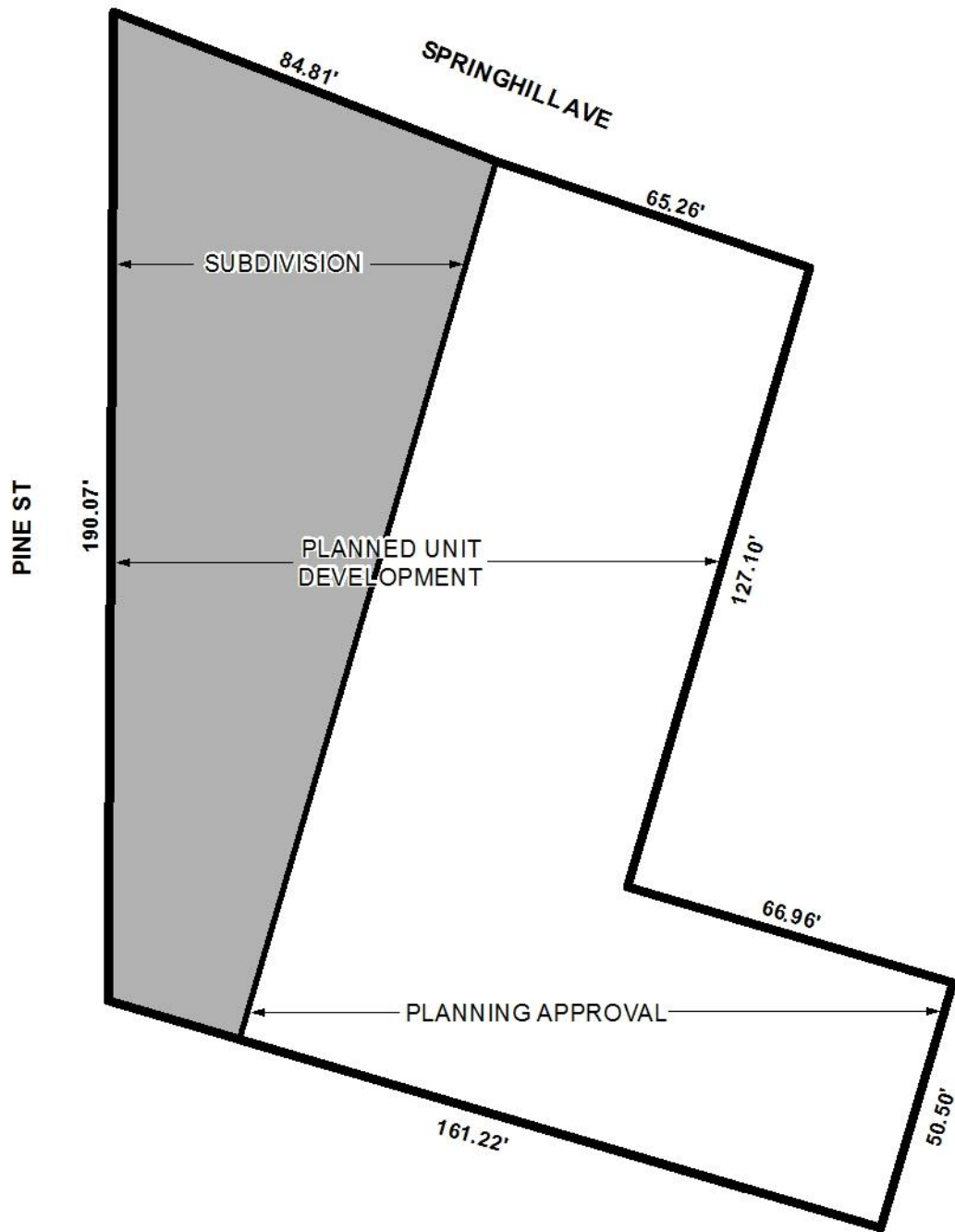
APPLICANT Pine Spring Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval



NTS

DETAIL SITE PLAN



APPLICATION NUMBER 18 DATE September 7, 2017

APPLICANT Pine Spring Subdivision

REQUEST Subdivision, Planned Unit Development, Planning Approval

