

**PLANNING APPROVAL &  
PLANNED UNIT DEVELOPMENT REPORT****Date: July 9, 2015**

<b><u>NAME</u></b>	Prayer Tabernacle Early Church of Jesus Christ
<b><u>SUBDIVISION NAME</u></b>	Prayer Tabernacle Early Church of Jesus Christ
<b><u>LOCATION</u></b>	1223 Mobile Street (West side of Mobile Street extending to the East side of Jessie Street, 240'± South of Main Street)
<b><u>CITY COUNCIL DISTRICT</u></b>	District 1
<b><u>PRESENT ZONING</u></b>	R-1, Single-Family Residential District
<b><u>AREA OF PROPERTY</u></b>	1 Lot / 1.64 ± Acres
<b><u>CONTEMPLATED USE</u></b>	Planning Approval to allow the expansion of an existing church in an R-1, Single-Family Residential District, and Planned Unit Development approval to allow multiple buildings on a single building site.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	None given.
<b><u>ENGINEERING COMMENTS</u></b>	

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

**TRAFFIC ENGINEERING** Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

**URBAN FORESTRY**  
**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 60" Live Oak Tree located on the South side of Lot A. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

**FIRE DEPARTMENT**  
**COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

**REMARKS** The applicant is requesting Planning Approval to allow the expansion of an existing church in an R-1, Single-Family Residential District and Planned Unit Development approval to allow multiple buildings on a single building site. Churches require Planning Approval when located in R-1 districts.

This site was most recently before the Planning Commission at its September 6, 2012 meeting. The applicant submitted applications for Planning Approval, Planned Unit Development, and a one lot Subdivision. The applicant proposed to construct a new 424-seat sanctuary and retain the existing church building for supporting activities. After several holdovers, the subdivision request was approved; however, the PUD and Planning Approval applications were withdrawn by the applicant prior to a decision being made by the Commission.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating

excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the Planning Approval and PUD review are site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The applicant proposes to construct a new Family Life Center, with associated site improvements, including a storm water detention pond, and a “future parking” area and a “future walkway” which are to be constructed at an unspecified future date. It should be pointed out that a new PUD and PA application will be required if the size, design or location of the future development is changed, or if the PUD expires prior to their construction.

The site currently has an existing church with existing parking. The total number of seats of the sanctuary is not illustrated on the site plan or provided in the narrative therefore staff is uncertain if an adequate amount of parking is prevalent on the site. As the proposed family center will not require additional parking, parking compliance is not required for the sanctuary, however, the size of the sanctuary in terms of seating should be provided. The site plan depicts the “future parking” area will be screened as required by Section 64-6.A.3.i.

The 25’ minimum building setback lines are depicted along Mobile Street and Jessie Street. The site plan includes notes indicating a 3’ wooden privacy fence from the right-of-way line back to the 25’ minimum building setback lines where the site is along the frontage streets, as well as a 6’ wooden privacy fence from the 25’ minimum building setback line along the property lines. A privacy buffer must be maintained where the site abuts residentially zoned property.

The total amount of proposed tree plantings and landscaping calculations are illustrated on the site plan. However, it appears that the total perimeter tree credit calculations provided are incorrect. Staff calculated a total of 36 tree credits in comparison to the 30 tree credits illustrated on the site plan. The site plan should be revised to reflect the total perimeter tree credits provided on site. The site plan should be in full compliance with Section 64-4.E of the Zoning Ordinance.

All notes displayed on the site plan should be retained on any revised plans.

All proposed work will require land disturbance permits, and the new family life center will additionally require a building permit.

## **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, the application is recommended for approval subject to the following:

- 1) retention of the 25' minimum building setback lines along Mobile Street and Jessie Street;
- 2) retention of all notes on any revised plans;
- 3) retention of the 3' wooden privacy fence from the right-of-way line back to the 25' minimum building setback lines;
- 4) retention of the 6' wooden privacy fence from the 25' minimum building setback line along the property lines;
- 5) retention of the total landscaping calculations;
- 6) revision of the perimeter tree credit calculations;
- 7) provision of information regarding the seating capacity of the existing sanctuary;
- 8) compliance with Engineering comments: *"ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters."*;
- 9) compliance with Traffic Engineering comments: *"Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance."*;
- 10) compliance with Urban Forestry comments: *"Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 60" Live Oak Tree located on the South side of Lot A. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger."*;

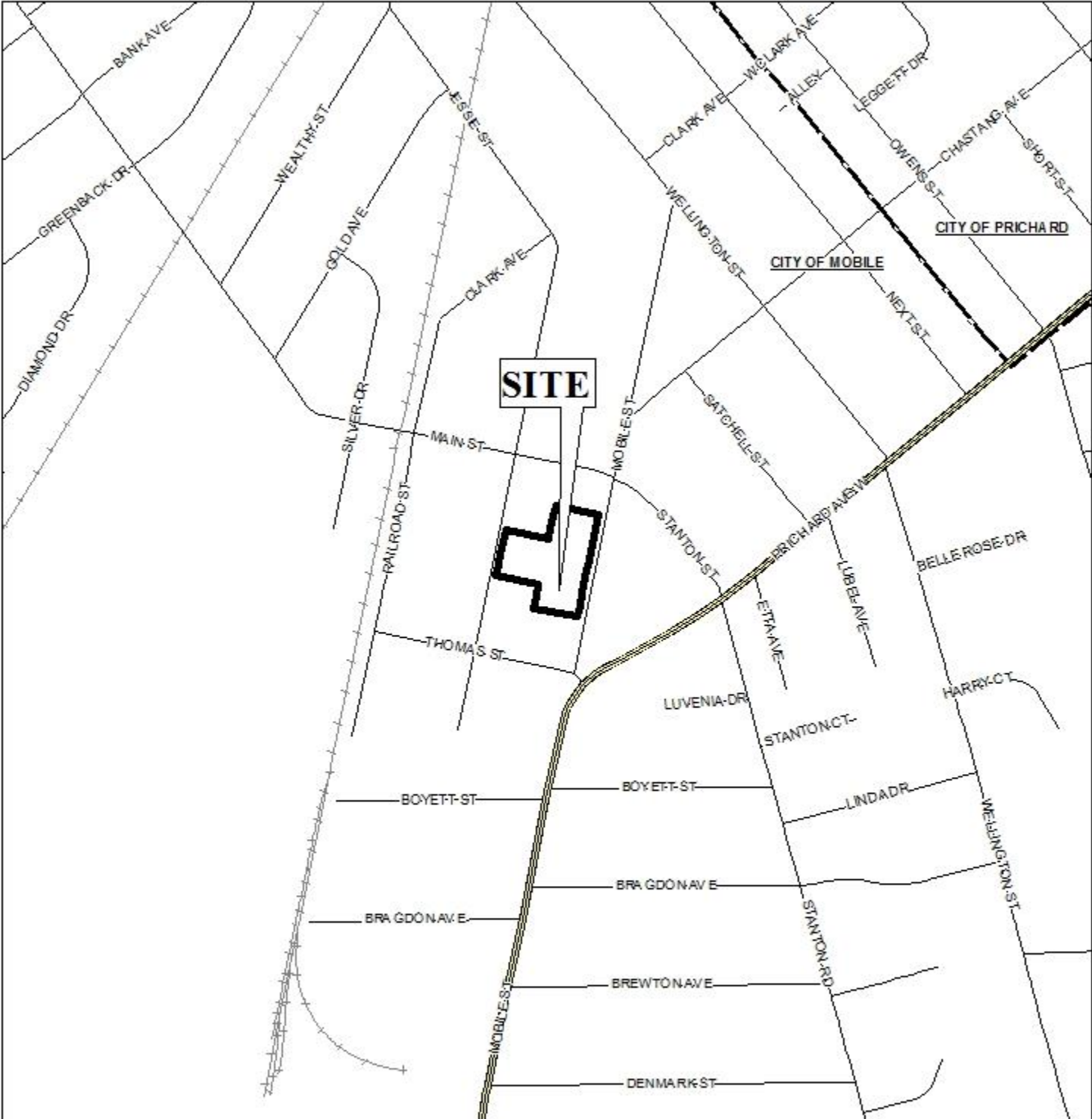
- 11) compliance with Fire comments: *“All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.”*
- 12) provision of a revised site plan to the Planning Division prior to any submission for Land Disturbance or building permits; and
- 13) full compliance with all municipal codes and ordinances.

**Planning Approval:** Based upon the preceding, the application is recommended for approval subject to the following:

- 1) retention of the 25' minimum building setback lines along Mobile Street and Jessie Street;
- 2) retention of all notes on any revised plans;
- 3) retention of the 3' wooden privacy fence from the right-of-way line back to the 25' minimum building setback lines;
- 4) retention of the 6' wooden privacy fence from the 25' minimum building setback line along the property lines;
- 5) retention of the total landscaping calculations;
- 6) revision of the perimeter tree credit calculations;
- 7) provision of information regarding the seating capacity of the existing sanctuary;
- 8) compliance with Engineering comments: *“ 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.”;*
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- 12) provision of a revised site plan to the Planning Division prior to any submission for Land Disturbance or building permits; and
- 13) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 18 DATE July 9, 2015

APPLICANT Prayer Tabernacle Early Church of Jesus Christ, Inc.

REQUEST Planned Unit Development, Planning Approval



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

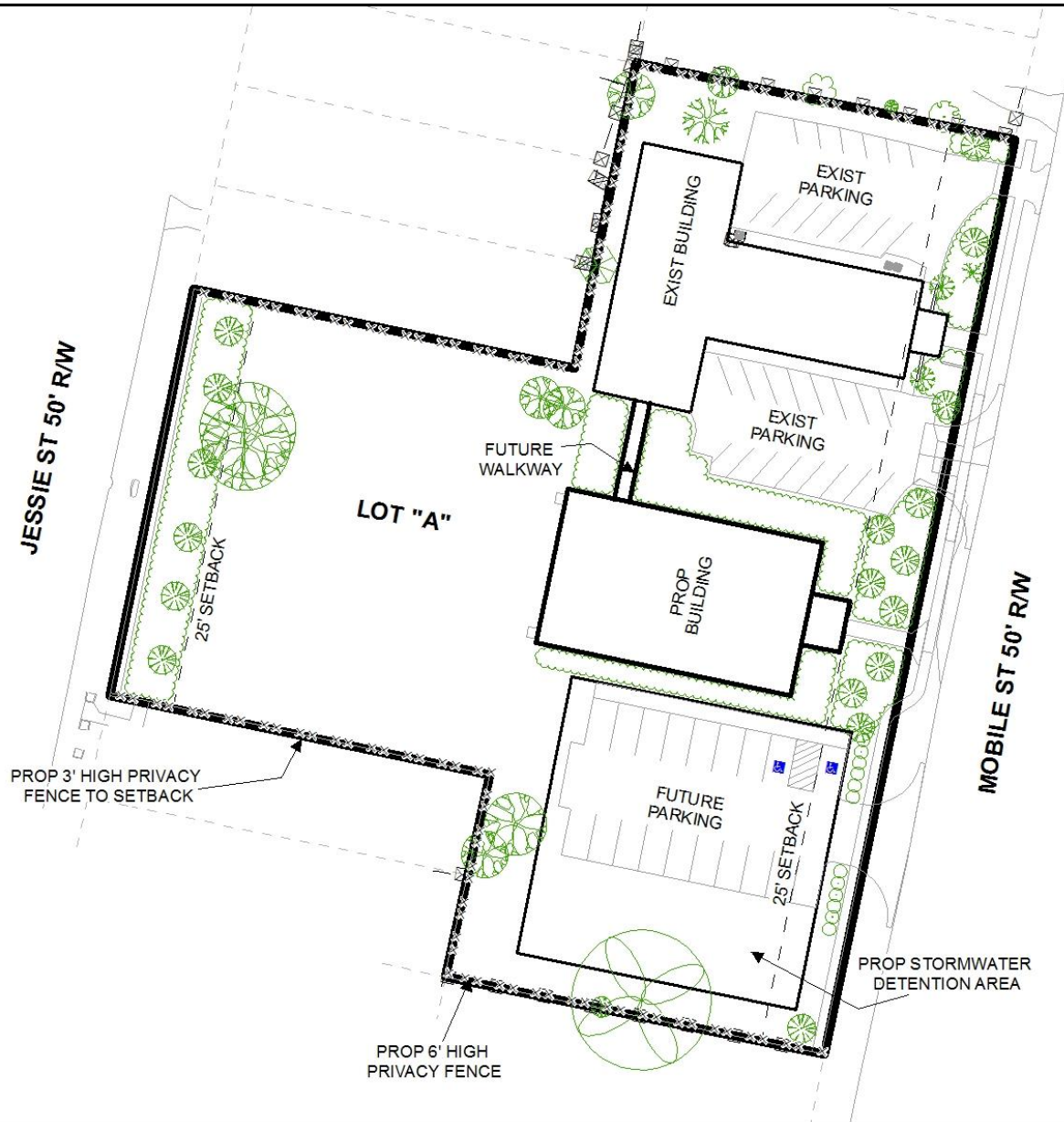


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# SITE PLAN



The site plan illustrates the existing building, the proposed building, parking, and trees.

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