

**BELLWOOD SUBDIVISION, RESUBDIVISION OF LOTS 12, 13 & 14**  
**BLOCK 1 UNIT 9**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water and Sewer Systems Comments: No comments.

The plat illustrates the proposed 0.8± acre, 2-lot subdivision, which is located on the East side of Bellwood Drive East, 235'± South of Huntington Drive. The applicant states that the subdivision is served by public water and individual septic tanks.

The purpose of this application is to resubdivide three legal lots of record into two legal lots of record.

The site fronts Bellwood Drive East, a minor street not providing curb and gutter. Section V.B.14. of the Subdivision Regulations requires right-of-way width of 60' for minor streets not providing curb and gutter. The road is depicted with an inadequate 50' right-of-way, and, as such, dedication of sufficient right-of-way to provide 30' from the centerline of Bellwood Drive East, would be required.

It should further be mentioned that to the rear of the proposed lots is a 60-foot wide unopened right-of-way, Ridge Road. Ridge Road is a dirt road and is not maintained by the county. The site should be denied access to Ridge Road.

As a means of access management, a note should be placed on the plat stating that the lots are limited to one curb-cut each, with the size, location, and design to be approved by County Engineering and in conformance with AASHTO standards.

The sizes of the proposed lots are shown on the preliminary plat, and both appear to meet the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations.

The 25-foot minimum building setback line is depicted, and should be retained on the Final Plat, if approved.

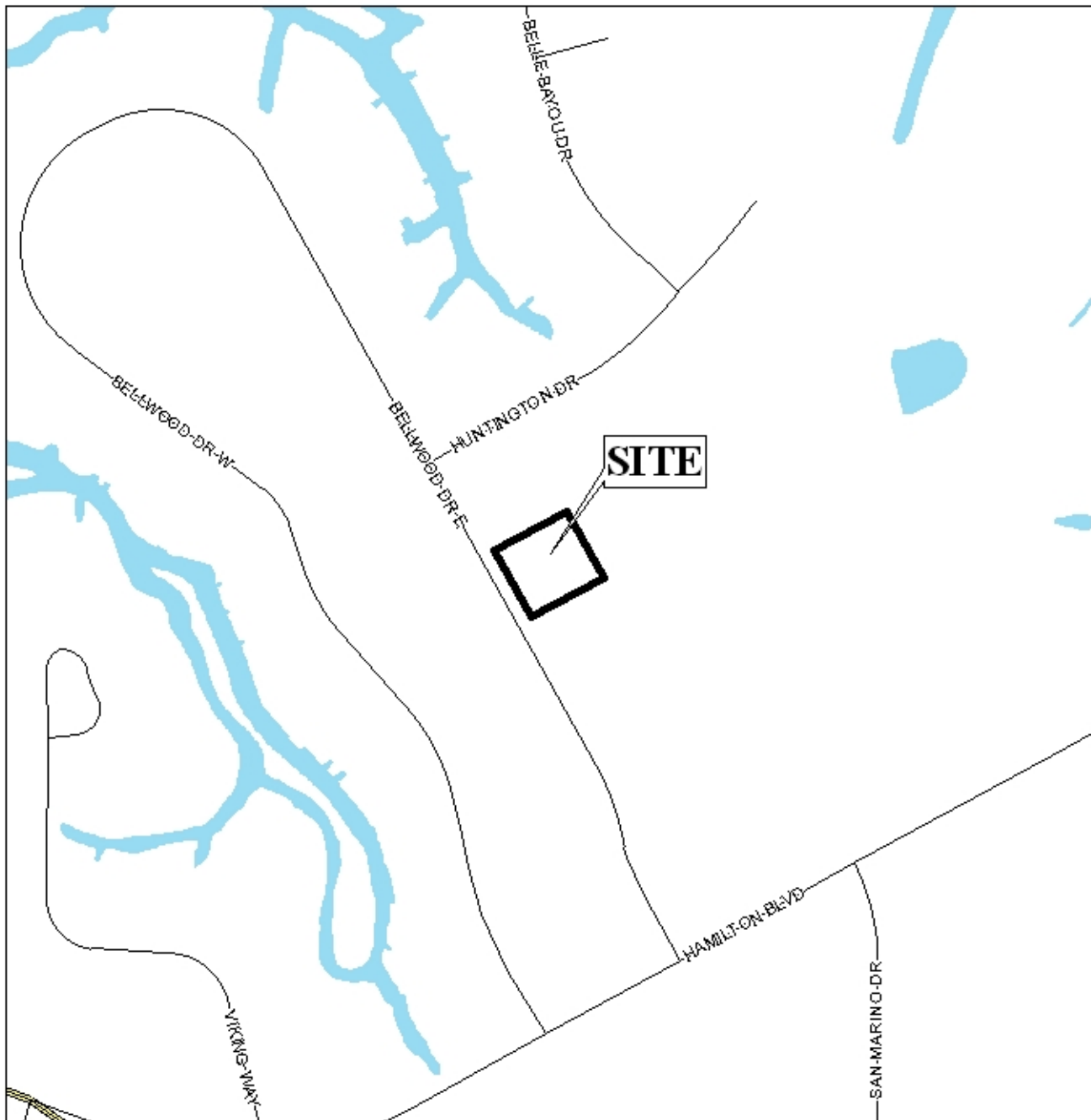
The site is located in the county; therefore, a note should be placed on the Final Plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide 30' from the centerline of Bellwood Drive East;
- 2) revision of the lot size information to reflect dedication;
- 3) placement of a note on the Final Plat denying the site access to Ridge Road;
- 4) placement of a note on the Final Plat stating that each lot is limited to one curb-cut with the size, design, and location of all curb-cuts to be approved by Mobile County Engineering and in conformance with AASHTO standards;
- 5) placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities; and
- 7) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

## LOCATOR



APPLICATION NUMBER 18 DATE February 18, 2010

APPLICANT Belwood Subdivision

REQUEST Subdivision





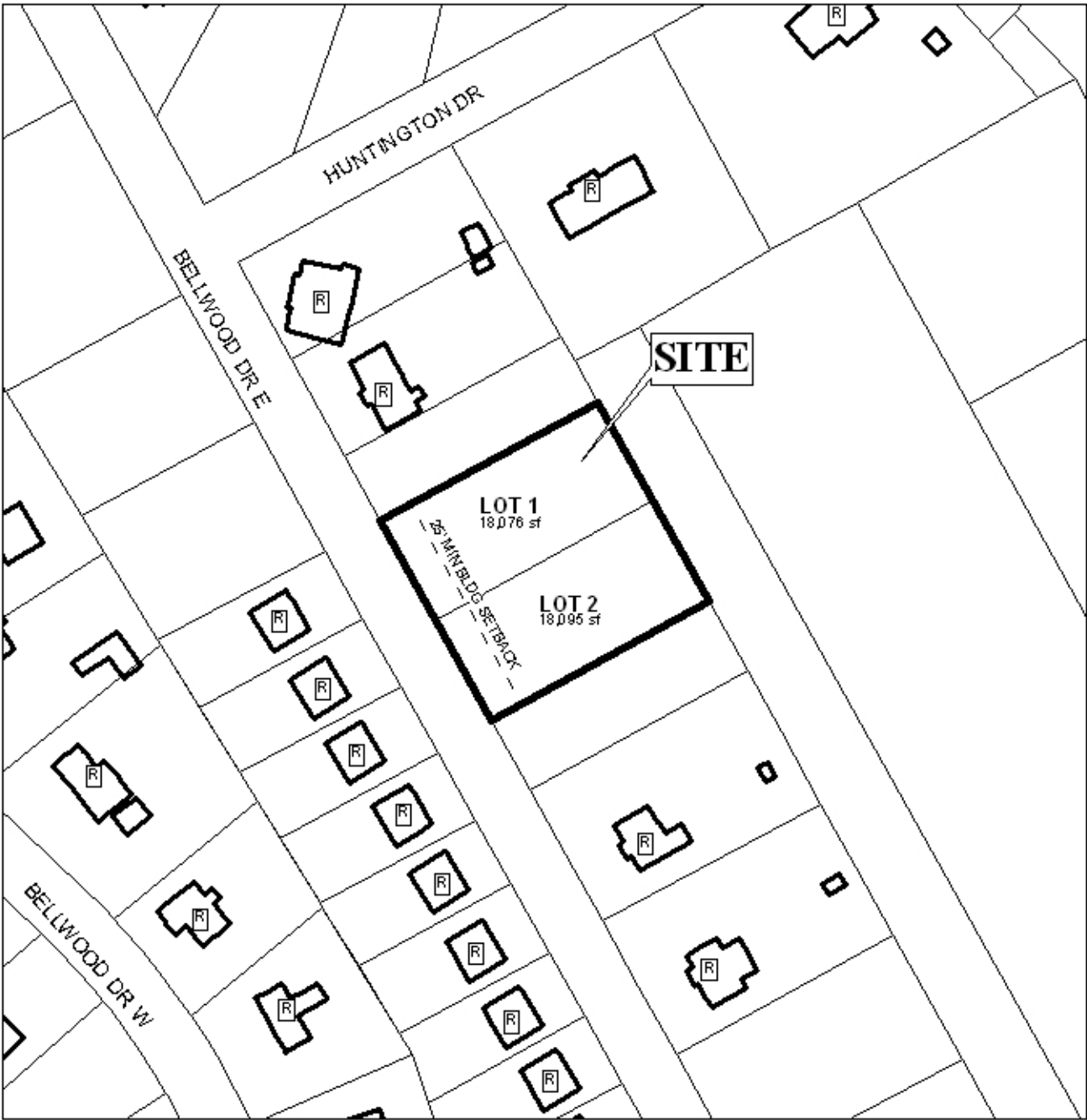
## BELWOOD SUBDIVISION



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# BELWOOD SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N  
  
NTS