

BELLEVUE HEIGHTS SUBDIVISION

RESUBDIVISION OF LOT 9

Engineering Comments: No water can be concentrated onto an adjacent property owner without a release agreement. All storm water should tie subsurface to a City of Mobile storm drainage system. If the cumulative impervious area constructed since 1984 is equal to or greater than 4000 square feet, storm water detention is required. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 1.1± acre, 2 lot subdivision, which is located on the North side of Bellevue Lane at its East terminus, in City Council District 5. The site is served by city water and sanitary facilities.

The purpose of this application is to subdivide a legal lot into two lots.

The site fronts Bellevue Lane, a minor street, with no depiction of right-of-way. If approved, the plat should be revised to provide a minimum of 25' from the center line of Bellevue Lane.

Lots 1 and 2 have approximately 75' and 25' of frontage, respectively, along Bellevue Lane. As a means of access management, a note should be placed on the final plat, if approved, stating that Lots 1 and 2 are limited to one curb each to Bellevue Lane, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Proposed Lot 2 will be a flag lot with only 25' of frontage, which will require a waiver of Sections V.D.1. and V.D.3. of the Subdivision Regulations. Two flag lots were approved by the Planning Commission in 1981 for a site that fronts Lakewood Drive East, to the Northwest of the site under consideration. However, while those lots were approved, they are too far removed from the site in question, in another subdivision. Therefore, the proposed flag lot would not be characteristic of the immediate vicinity.

If approved, the minimum building setback line as depicted on Lot 2 should be moved back to at least 25' from where the "pole" intersects the "flag" portion of the lot. Setbacks for the rest of the lot must comply with the zoning ordinance.

If approved, the plat should also be revised to label each lot with its size in square feet, or the provision of a table with the same information is required.

There is a structure located on the proposed interior lot line. If approved, it should be demolished upon signing the final plat.

Based on the preceding, this application is recommended for denial for the following reasons:

- 1) does not meet the requirements of Section V.D.1. of the Subdivision Regulations: *the size, width, depth, shape, and orientation of lots and the minimum building setback lines shall be appropriate to the location of the subdivision and the type of development and use contemplated. Every lot shall contain a suitable building site; and*
- 2) does no meet the requirements of Section V.D.3. of the Subdivision Regulations: *in general, the maximum depth of any lots, exclusive of unusable land, shall not be more than 3.5 times the width of the lot at the building setback line.*

LOCATOR MAP



APPLICATION NUMBER 18 DATE December 6, 2007

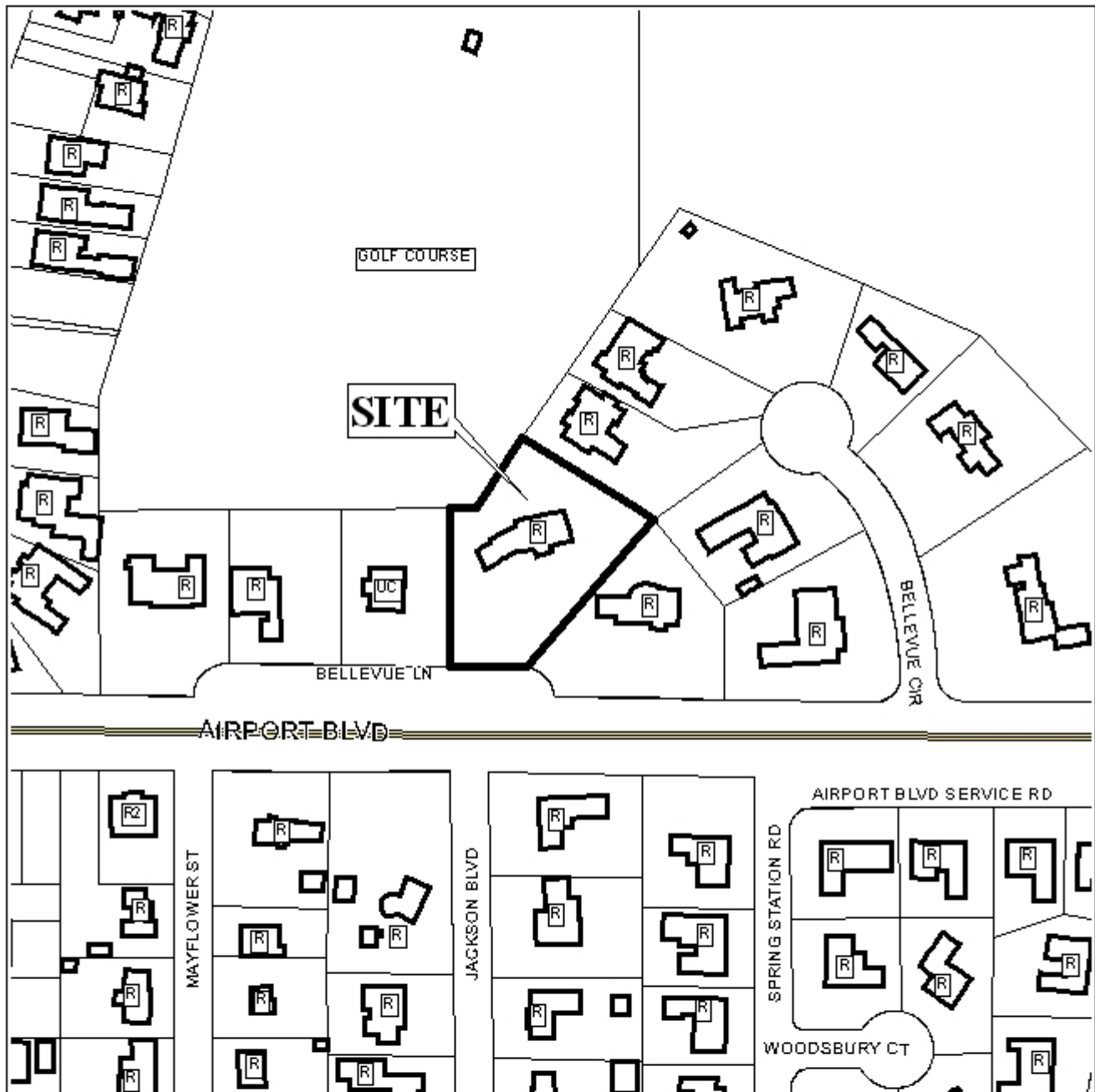
APPLICANT Bellevue Heights Subdivision Resubdivision of Lot 9

REQUEST Subdivision



NTS

BELLEVUE HEIGHTS SUBDIVISION, RESUBDIVISION OF LOT 9

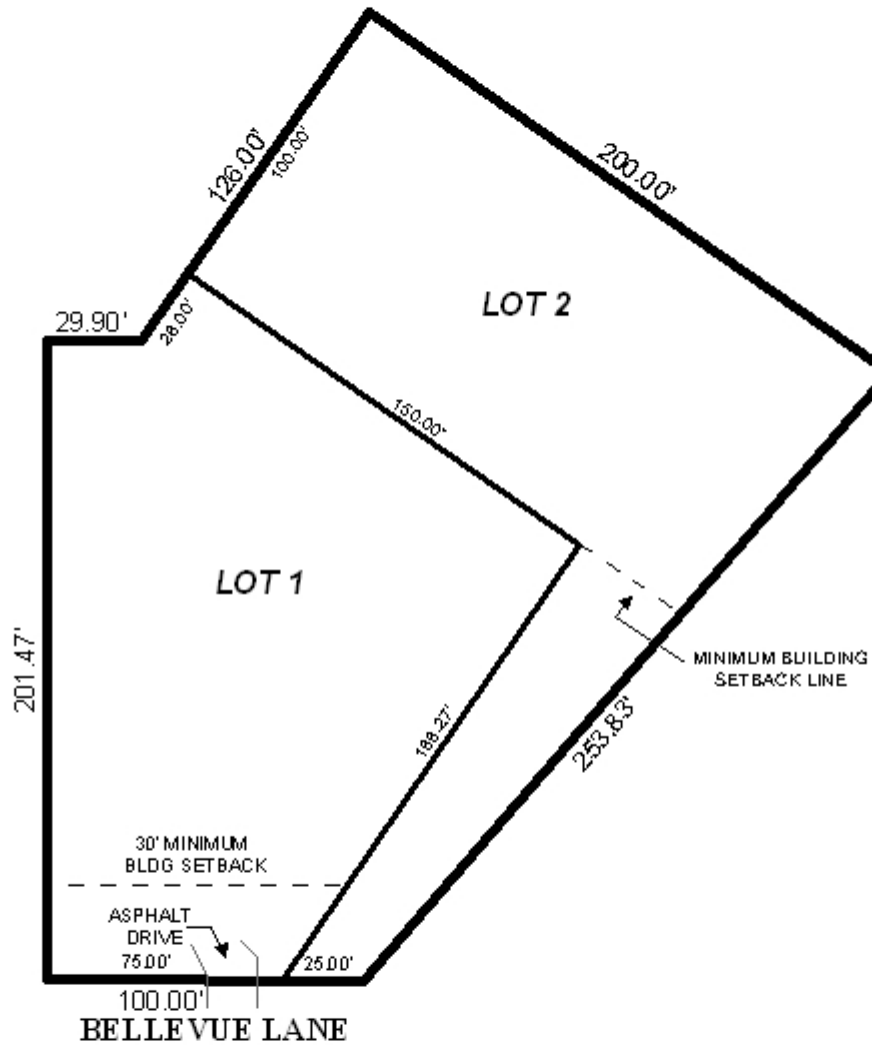


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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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DETAIL SITE PLAN



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 REQUEST Subdivision



NTS