

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: February 15, 2007**

<u>DEVELOPMENT NAME</u>	Elmore Family Properties
<u>SUBDIVISION NAME</u>	Elmore Subdivision
<u>LOCATION</u>	3222 Spring Hill Avenue (North side of Spring Hill Avenue, 280'± West of Western Drive)
<u>CITY COUNCIL DISTRICT</u>	District 1
<u>PRESENT ZONING</u>	B-3, Community Business District
<u>AREA OF PROPERTY</u>	1 Lot/1.8± acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to allow multiple buildings on a single building site.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Existing development, no additions proposed.
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
Full compliance with the landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.	
<u>FIRE DEPARTMENT COMMENTS</u>	No comments.

REMARKS

The applicant is requesting Subdivision approval to combine three lots into one legal lot of record, and Planned Unit Development approval to allow multiple buildings on a single building site.

The applicant proposes to renovate and adjoin two existing automotive repair buildings. The commercial development is allowed by right in a B-3, Community Business District.

The subdivision/PUD site is developed with two buildings, while the remainder of the site is generally paved either with asphalt and/or concrete. From the PUD plan, no trees seem to exist on this development.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Spring Hill Avenue is a proposed major street, as illustrated on the Major Street Plan. The preliminary plat indicates Spring Hill Avenue has a 100-foot right-of-way, which meets the Major Street Plan requirement.

Access management is a concern due to the four existing curb cuts along approximately 365-feet of road frontage along Spring Hill Avenue. The reduction of the existing number of curb-cuts to three and the reworking of the parking area within the front of the development to allow a consistent vehicular circulation should be required. In addition, any changes to the size, design and location of the curb-cuts must be approved by Traffic Engineering, and conform to AASHTO standards.

Parking within the development meets the minimum requirements of the Zoning Ordinance; however, the maneuvering within the site should be redesigned to compensate for the reduction of curb cuts as suggested previously.

The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, is not shown on the complete subdivision plat or site plan.

No trees or landscaping are depicted on the site plan, however compliance to the greatest extent feasible with the tree and landscaping aspect of the Zoning Ordinance will be required. The site plan should be revised to reflect proposed landscaping and any existing or proposed street trees, and compliance with the Zoning Ordinance should be coordinated with Urban Forestry. It should be noted that this site is existing, which may make full compliance with the tree and landscaping requirements impossible.

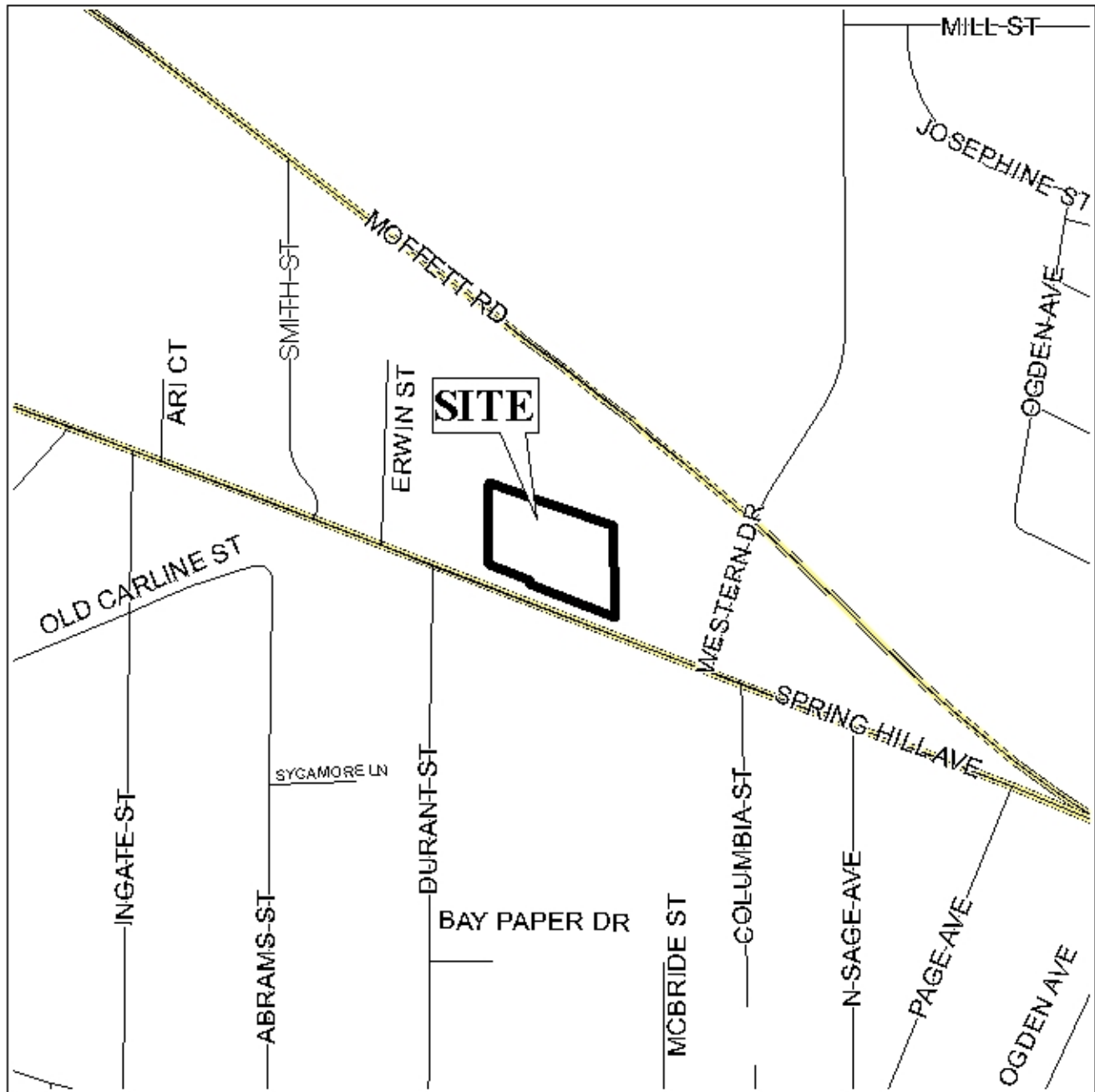
There is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. The location of the storage area for the dumpster must be indicated on the site plan, and the location and required screening comply with Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

RECOMMENDATION

Planned Unit Development: Based on the preceding, this application is recommended for Approval, subject to the following conditions: 1) revision of the site plan to depict compliance, with the tree and landscaping requirements of the Zoning Ordinance, to be coordinated with Urban Forestry; 2) depiction of any dumpster or waste container storage location on the site plan; 3) approval of Traffic Engineering regarding the size, design location of any reduction of the existing curb-cuts onto Spring Hill Avenue; 4) completion of the Subdivision process; and 5) full compliance with all municipal codes and ordinances.

Subdivision: Based on the preceding, the plat is recommended for Tentative Approval subject to the following condition: 1) the placement of a note on the final plat stating that the site is limited to three curb-cuts to Spring Hill Avenue, with any changes to the size, design and location of the curb-cuts to be approved by Traffic Engineering, and conform to AASHTO standards; 2) the placement of the 25-foot minimum building setbacks on the Final Plat; 3) provision of a revised PUD site plan to the Planning Section of Urban Development, prior to the signing and recording of the final plat.

LOCATOR MAP



APPLICATION NUMBER 18 & 19 DATE February 15, 2007

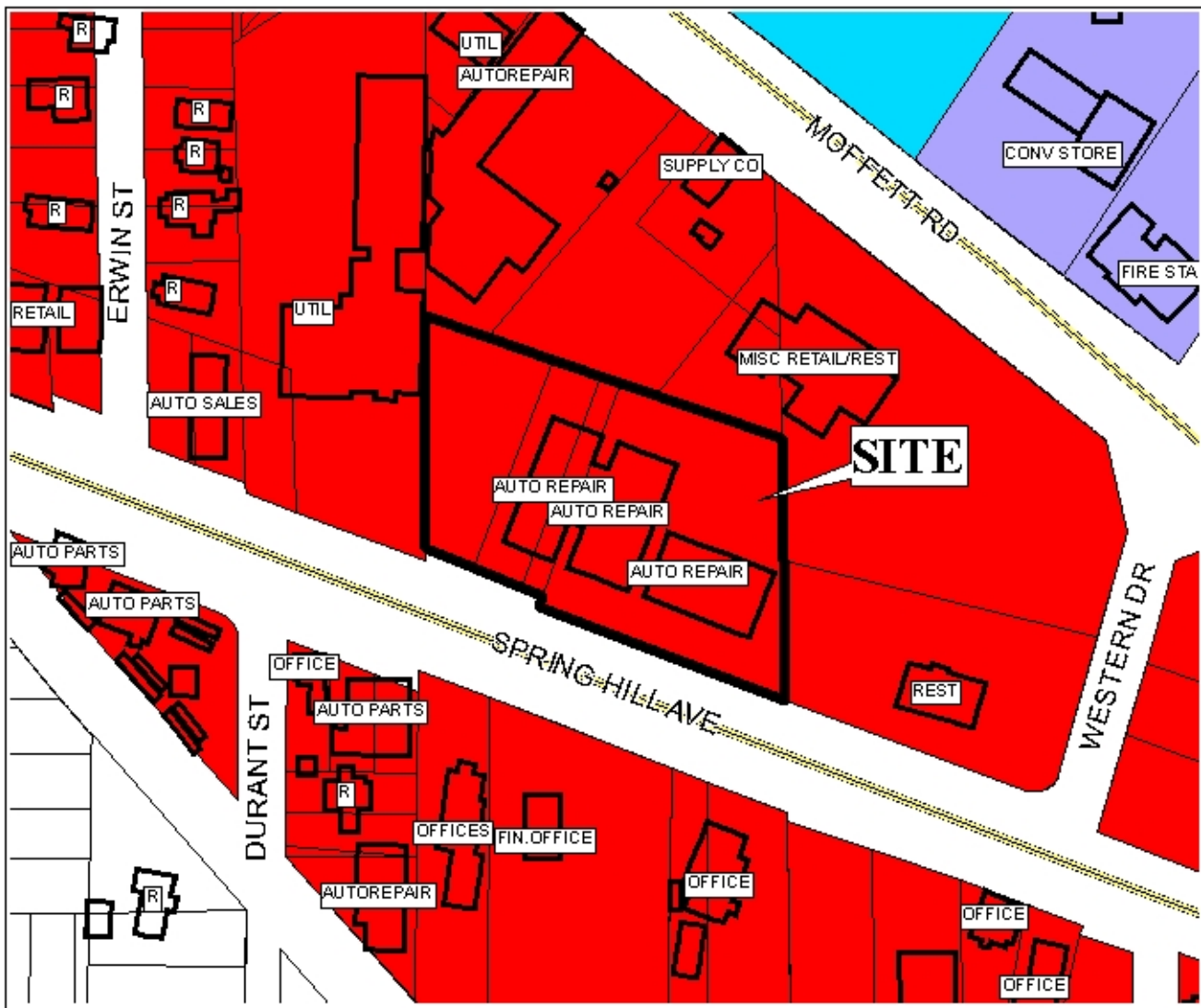
APPLICANT Elmore Family Properties

REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use. Single-family residential units are located to the west of the site.

APPLICATION NUMBER 18 & 19 DATE February 15, 2007

APPLICANT Elmore Family Properties

REQUEST Subdivision, Planned Unit Development

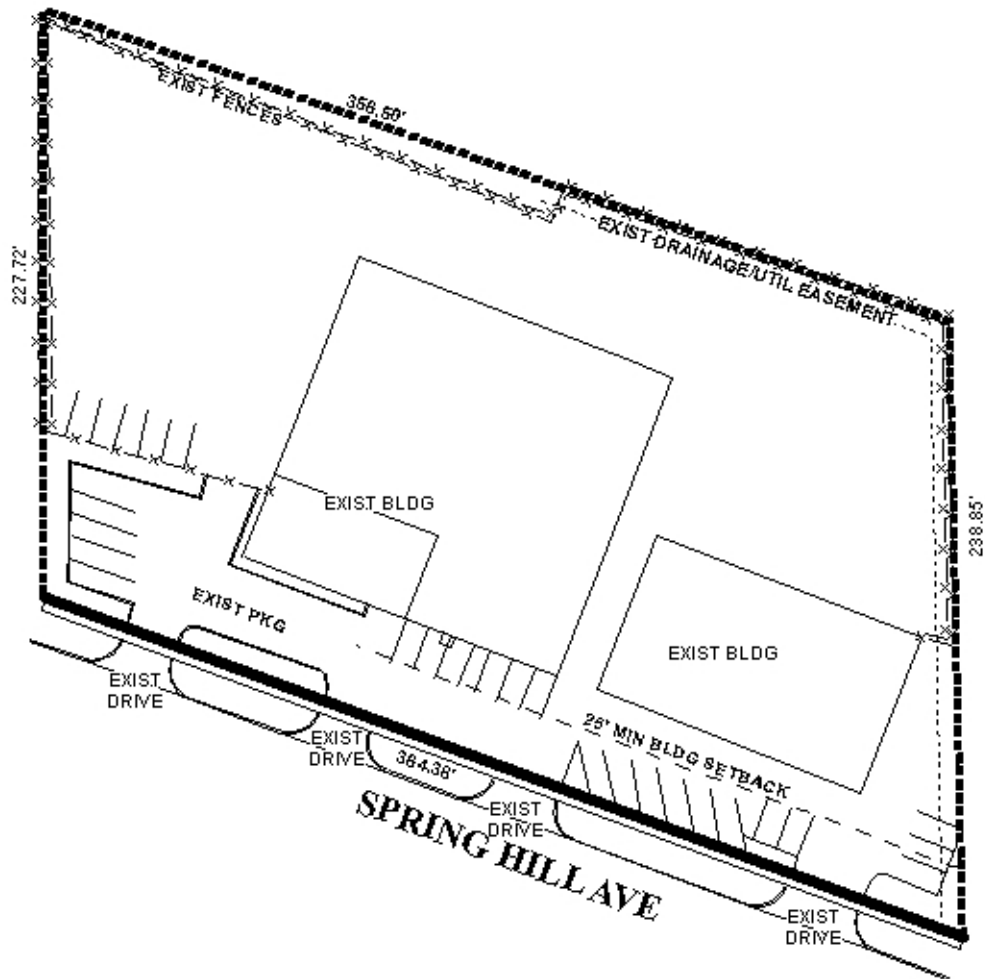
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----



NTS

SITE PLAN



The site plan illustrates the existing buildings, parking, and drives

APPLICATION NUMBER 18 & 19 DATE February 15, 2007
APPLICANT Elmore Family Properties
REQUEST Subdivision, Planned Unit Development



NTS