

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: December 2, 2010****DEVELOPMENT NAME**

Alvin Subdivision, Resubdivision of Lots 1 & 2

SUBDIVISION NAME

Alvin Subdivision, Resubdivision of Lots 1 & 2

LOCATION3060 and 3150 Dauphin Street
(North side of Dauphin Street, 700'± West of North Sage Avenue)**CITY COUNCIL****DISTRICT**

District 1

AREA OF PROPERTY

2 Lots / 9.6 ± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow a showroom expansion and allow multiple buildings on two building sites with shared access and parking between the two building sites, and Subdivision approval to create two legal lots of record.

TIME SCHEDULE**FOR DEVELOPMENT**

Not specified.

ENGINEERING**COMMENTS**

Must comply with all storm water and flood control ordinances. Detention must be provided for all impervious area(s) added to the site in excess of 4,000 square feet since 1984. Engineer's analysis of the capacity of the receiving drainage system required for the release of storm water into the system. If undersized, then either additional detention must be provided or the applicant shall improve the receiving drainage system. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow a showroom expansion and allow multiple buildings on two building sites with shared access and parking between the two building sites, and Subdivision approval to create two legal lots of record.

The subject site received Planned Unit Development Approval in 1987 which was amended via an Administrative Planned Unit Development Approval in 1996. The applicant proposes to amend the 1996 approval for a building expansion on one building site while maintaining the shared access and parking between the two sites, and also proposes to shift an internal property line between the two sites.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is currently developed as an automobile dealership spanning two legal lots of record with multiple buildings on each lot. The lots are currently recorded as Lots 1 and 2, Alvin Subdivision, which was approved by the Commission in 1970. The applicant proposes to shift a common property line between the two lots to shift an existing parking area from one lot to the other. Upon review of the plat submitted, one minor problem with the proposed relocated common property line is noticed. The line is proposed to come within approximately two or three feet of an existing one story metal building on the West side of the proposed line. Since the site is zoned B-3, the Zoning Ordinance requires either a zero setback (with a building code-rated fire wall on the structure) or a 5' minimum property line setback. The lot line should either be relocated to meet the required zero setback with the construction of the proper fire rated wall, or relocated to be at least 5' off the East wall of the existing building. Also, along the West side of the over-all site, a portable building is noticed to be encroaching within the recorded 10' buffer

strip; therefore, this should be relocated out of the buffer strip after obtaining any required building permit(s). Other than an existing one story metal building in the Northwest corner of proposed Lot 2A not meeting required setbacks off an existing common lot line to remain, all other structures on the two proposed lots meet required setbacks and site coverage allowances.

The site fronts Dauphin Street, a component of the Major Street Plan, with a planned 100' right-of-way. As the current right-of-way is indicated to be 122', and 60' of right-of-way was dedicated for a service road with the recording of Alvin Subdivision, no additional dedication would be required. The site should be limited to the existing approved curb cuts along Dauphin Street.

As the subdivision plat submitted does not indicate any structures, all property line encroachments were discovered on the PUD site plan. Therefore, if approved, the subdivision plat should be revised to include at least the buildings where setback compliance verification is required prior to the signing of the final plat.

With regard to the PUD, an expansion of a showroom and new overhead canopies is proposed for one of the existing buildings. There are no other site modifications proposed. The existing approved internal traffic patterns of shared access and parking will remain. As this is less than a 50% expansion of an existing building, compliance with the landscaping and tree planting requirements of the Zoning Ordinance would not apply if the site is not already compliant. No dumpster is indicated on the site plan and there are no notes referencing refuse disposal for the site. Therefore, the site plan should be revised to indicate dumpster compliance, or a statement should be provided indicating that no dumpster will be included as part of the development. Also, compliance with Section 64-6.A.3.c. of the Zoning Ordinance pertaining to the lighting requirements of parking lots should be required.

RECOMMENDATION

Subdivision: Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) relocation of the proposed common property line to either be a zero lot line off the existing one story metal building, with a building code-compliant fire wall, or relocation to be at least 5' off the existing East wall of the building;
- 2) relocation of the existing portable building currently within the recorded 10' buffer on the West side of the site to be out of the buffer, after obtaining any required building permit(s);
- 3) illustration of the two above-mentioned buildings on the final plat to verify setback compliance;
- 4) placement of a note on the final plat stating that the site is limited to the existing curb cuts along Dauphin Street;
- 5) provision of two (2) copies of a revised PUD site plan, if approved, prior to the signing of the final plat;

- 6) subject to the Engineering comments: *(Must comply with all storm water and flood control ordinances. Detention must be provided for all impervious area(s) added to the site in excess of 4,000 square feet since 1984. Engineer's analysis of the capacity of the receiving drainage system required for the release of storm water into the system. If undersized, then either additional detention must be provided or the applicant shall improve the receiving drainage system. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer).*

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) compliance with Engineering comments *(Must comply with all storm water and flood control ordinances. Detention must be provided for all impervious area(s) added to the site in excess of 4,000 square feet since 1984. Engineer's analysis of the capacity of the receiving drainage system required for the release of storm water into the system. If undersized, then either additional detention must be provided or the applicant shall improve the receiving drainage system. Any work performed in the right of way will require a right of way permit in addition to any required land disturbance permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer).*
- 2) relocation of the proposed common property line to either be a zero lot line off the existing one story metal building, with a building code-compliant fire wall, or relocation to be at least 5' off the existing East wall of the building;
- 3) relocation of the existing portable building within the recorded 10' buffer on the West side of the site to be out of the buffer after obtaining any required building permit(s);
- 4) placement of a note on the site plan stating that the site is limited to the existing curb cuts to Dauphin Street;
- 5) revision of the site plan to indicate dumpster compliance, or placement of a statement on the site plan stating that no dumpster will be included as part of the development;
- 6) placement of a statement on the site plan stating that compliance with Section 64-6.A.3.c. of the Zoning Ordinance pertaining to the lighting requirements of parking lots is required;
- 7) provision of two (2) copies of a revised PUD site plan, if approved, prior to the signing of the final plat; and
- 8) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



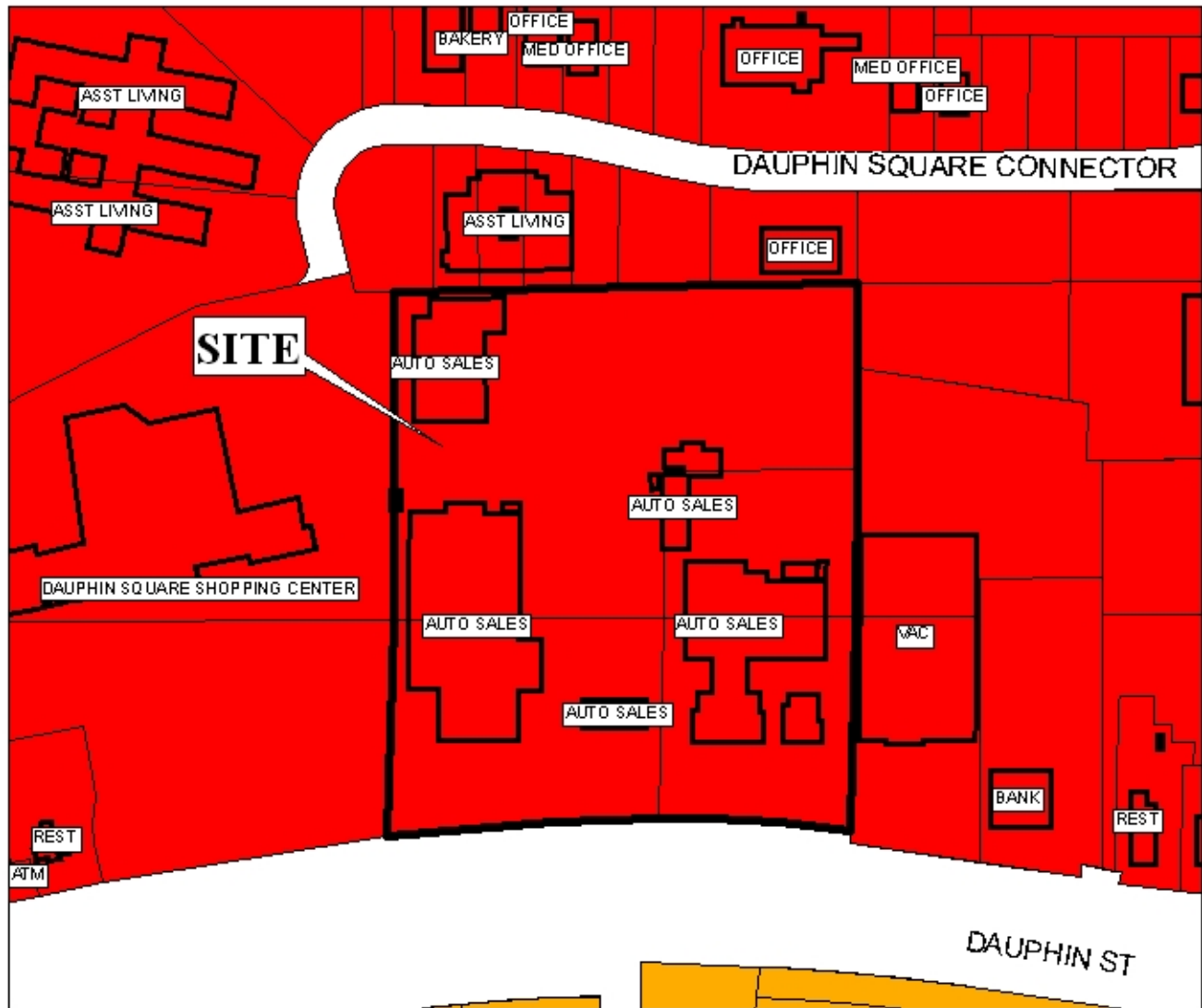
APPLICATION NUMBER 18 & 19 DATE December 2, 2010

APPLICANT Alvin Subdivision, Resubdivision of Lots 1 & 2

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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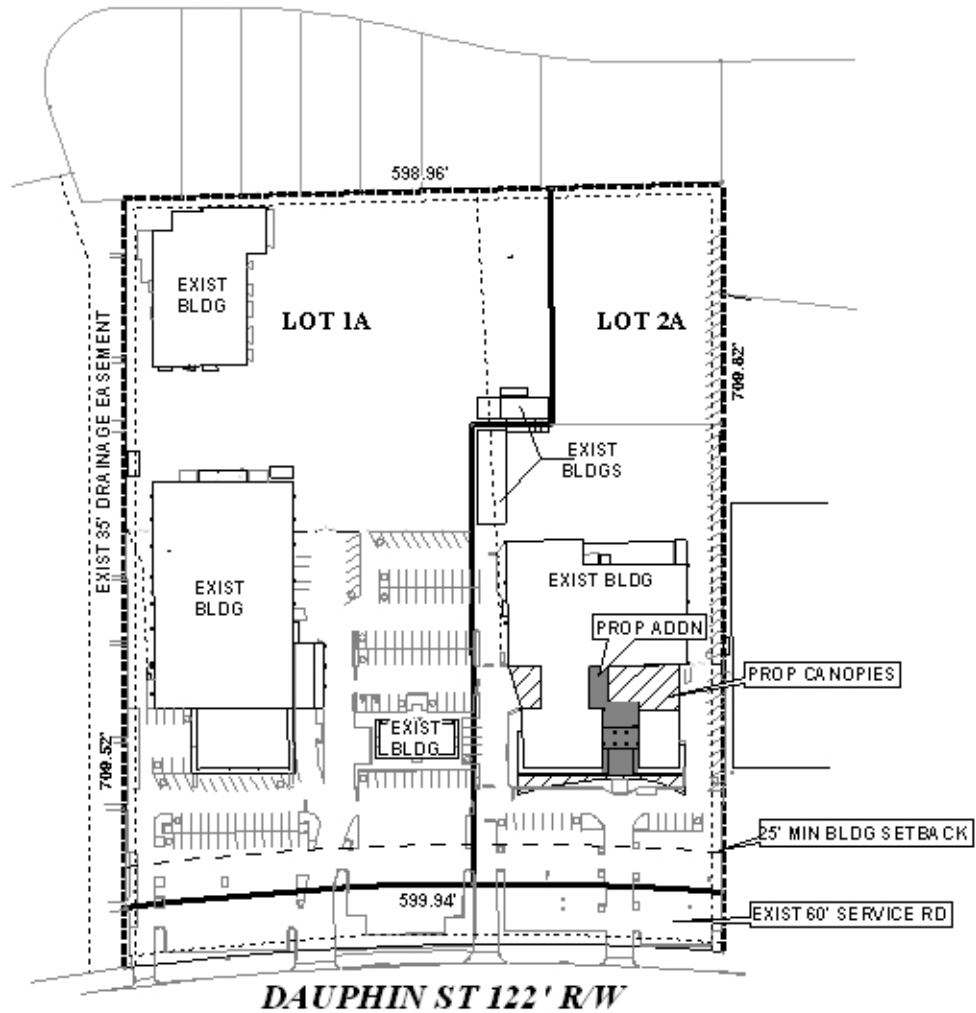
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NTS

SITE PLAN



The site plan illustrates the proposed building addition, canopies, and lot configuration.

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