

PLANNED UNIT DEVELOPMENT,
SUBDIVISION &
SIDEWALK WAIVER REQUEST
STAFF REPORT

Date: March 15, 2007

<u>NAME</u>	Mobile Area Water & Sewer System
<u>SUBDIVISION NAME</u>	MAWSS Eslava Creek Facilities Subdivision
<u>LOCATION</u>	1557 Sans Souci Road (South terminus of Sans Souci Road, extending South to I-10)
<u>CITY COUNCIL DISTRICT</u>	District 4
<u>PRESENT ZONING</u>	R-1, Single-Family Residential, and B-2, Neighborhood Business District
<u>AREA OF PROPERTY</u>	1 Lot / 16.6 \pm Acres
<u>CONTEMPLATED USE</u>	<i>Planned Unit Development</i> approval to allow multiple buildings on a single building site, including a severe weather attenuation tank, lift station, and auxiliary equipment to fill and withdraw wastewater from the tank, <i>Subdivision</i> approval to create one lot, and <i>Sidewalk Waiver</i> approval to waive construction of a sidewalk along Sans Souci Road.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands. If wetlands are present, no fill allowed without a Corps of Engineers permit. Show minimum finished floor elevation for any buildings or structures and/or slabs, on which, mechanical and electrical equipment will be installed. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

No comments.

REMARKS

The applicant is requesting Planned Unit Development approval to allow multiple buildings on a single building site, including a severe weather attenuation tank, lift station, and auxiliary equipment to fill and withdraw wastewater from the tank, Subdivision approval to create one lot, and Sidewalk Waiver approval to waive construction of a sidewalk along Sans Souci Road. A sewage pump station and related facilities requires Planning Approval within R-1, Single Family Residential districts.

The site is bounded to the West and North by vacant land and residences in an R-1 district, to the East by the upper reaches of Dog River (lower reaches of Eslava Creek), and to the South by Interstate 10. The site under consideration is split-zoned, with the bulk of the site R-1 and a small portion of the site along the Interstate 10 right-of-way zoned B-2, Neighborhood Business: the split zoning condition was created by the Planning Commission and City Council in 1981 in order to allow billboards on the site.

The site itself contains an existing sewage pump station, emergency generator and fuel storage tank (for the generator). At one time, the site was a fully fledged sewage treatment facility, however, the facility was removed from the site after 1987.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The purpose of this application is to construct a 230-foot diameter, 50-foot high storage tank and support facilities that will hold wastewater during extreme rain events. The existing wastewater system becomes overwhelmed during extreme rain events because of infiltration of stormwater

into the wastewater system, resulting in sewer overflows in the neighborhoods upstream of the existing pump station. MAWWS proposes to construct the storage tank and install new pumping equipment so that overflows are eliminated during storm events. After the storm event, wastewater stored in the 8-million gallon enclosed tank is pumped back into the wastewater system for treatment as capacity becomes available. All new structures on the site will be related to the pumping or storage of wastewater, and no habitable structures or offices are proposed. The site is currently fenced and gated with a chain-link fence, and no changes are proposed to the perimeter fence. On-site access and maneuvering will be via a gravel roadbed.

The site fronts the South terminus of Sans Souci Road, a minor street, and extends South to Interstate 10, a major street. Right-of-way widths for each street are adequate.

Access management for the site is a concern due to the presence of Interstate 10. A note should be placed on the Subdivision plat stating that access to the lot is limited to San Souci Road, with the size, design and location of the access to be approved by Traffic Engineering.

The gravel roadbed will serve a public utility site. The limited traffic, proximity to a natural water body, and nature of the proposed use indicates that such paving material is appropriate for the location. Should increased use of the site be anticipated, a paved roadbed should be provided.

The minimum building setback line from all street frontages, required in Section V.D.9. of the Subdivision Regulations is not shown on the plat, but would be required on the final plat, if approved.

A portion of the site is within the floodplain for Dog River / Eslava Creek, thus wetlands may also be present. The potential presence of floodplains and wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The applicant is requesting the waiver of the sidewalk requirements for Sans Souci Road, which stubs into the site on the North. As Sans Souci Road terminates at the site and as pedestrian access to the site is not desirable, a waiver of the sidewalk may be appropriate.

RECOMMENDATION

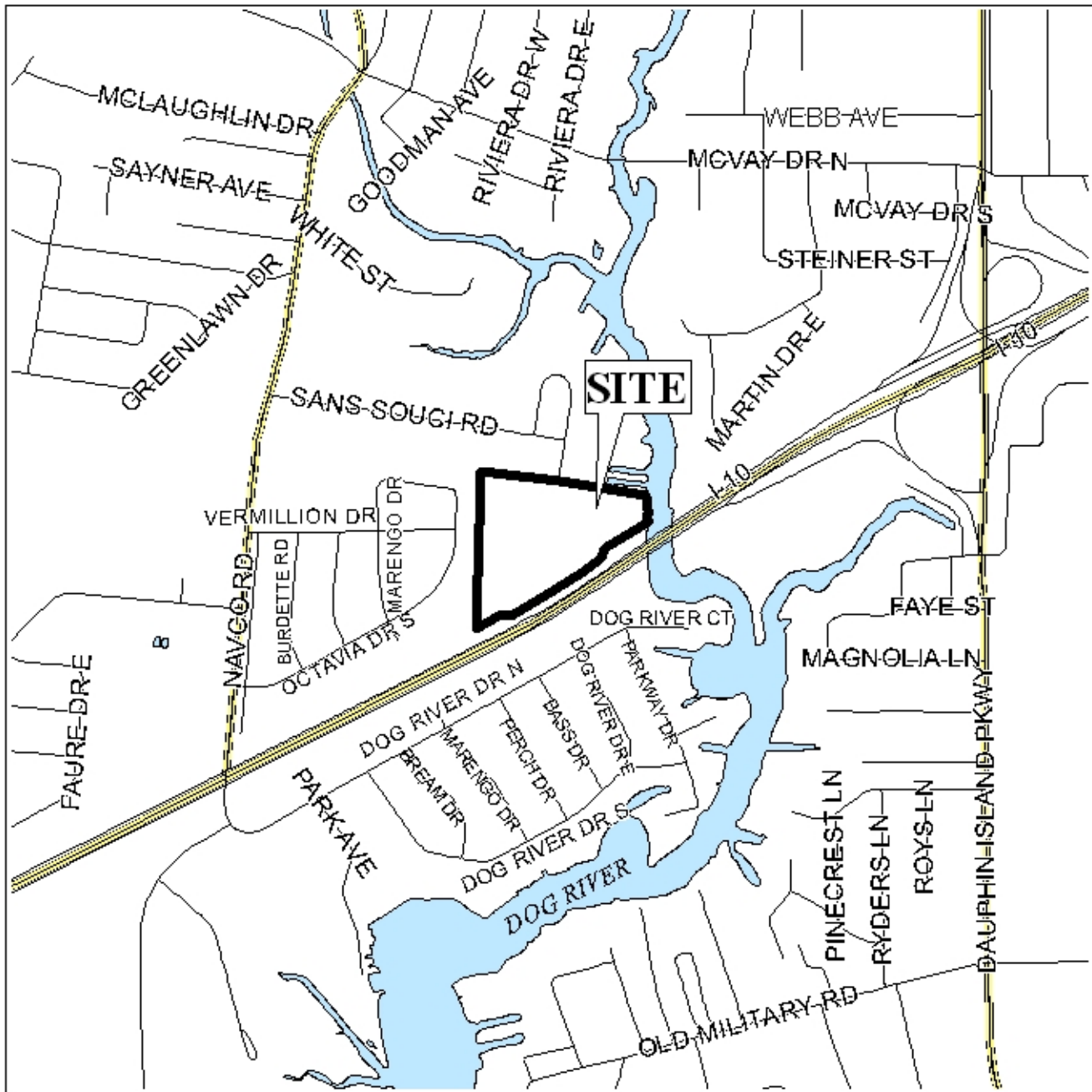
Planned Unit Development: The PUD request is recommended for Approval, subject to the following conditions: 1) completion of the Subdivision process; 2) placement of a note on the site plan and plat stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities; 3) depiction of the 25-foot minimum building setback line from all street frontages on the site plan and plat; and 4) full compliance with all other municipal codes and ordinances.

Subdivision: The Subdivision request is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the site plan and plat stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land

disturbance activities; 2) placement of a note on the plat stating that access to the lot is limited to Sans Souci Road, with the size, design and location of any access to be approved by Traffic Engineering and conform to AASHTO standards; 3) depiction of the 25-foot minimum building setback line on the site plan and plat; 4) labeling of the lot size in square feet; and 5) full compliance with all other municipal codes and ordinances.

Sidewalk Waiver: The request is recommended for approval.

LOCATOR MAP



APPLICATION NUMBER 18,19,& 20 DATE March 15, 2007

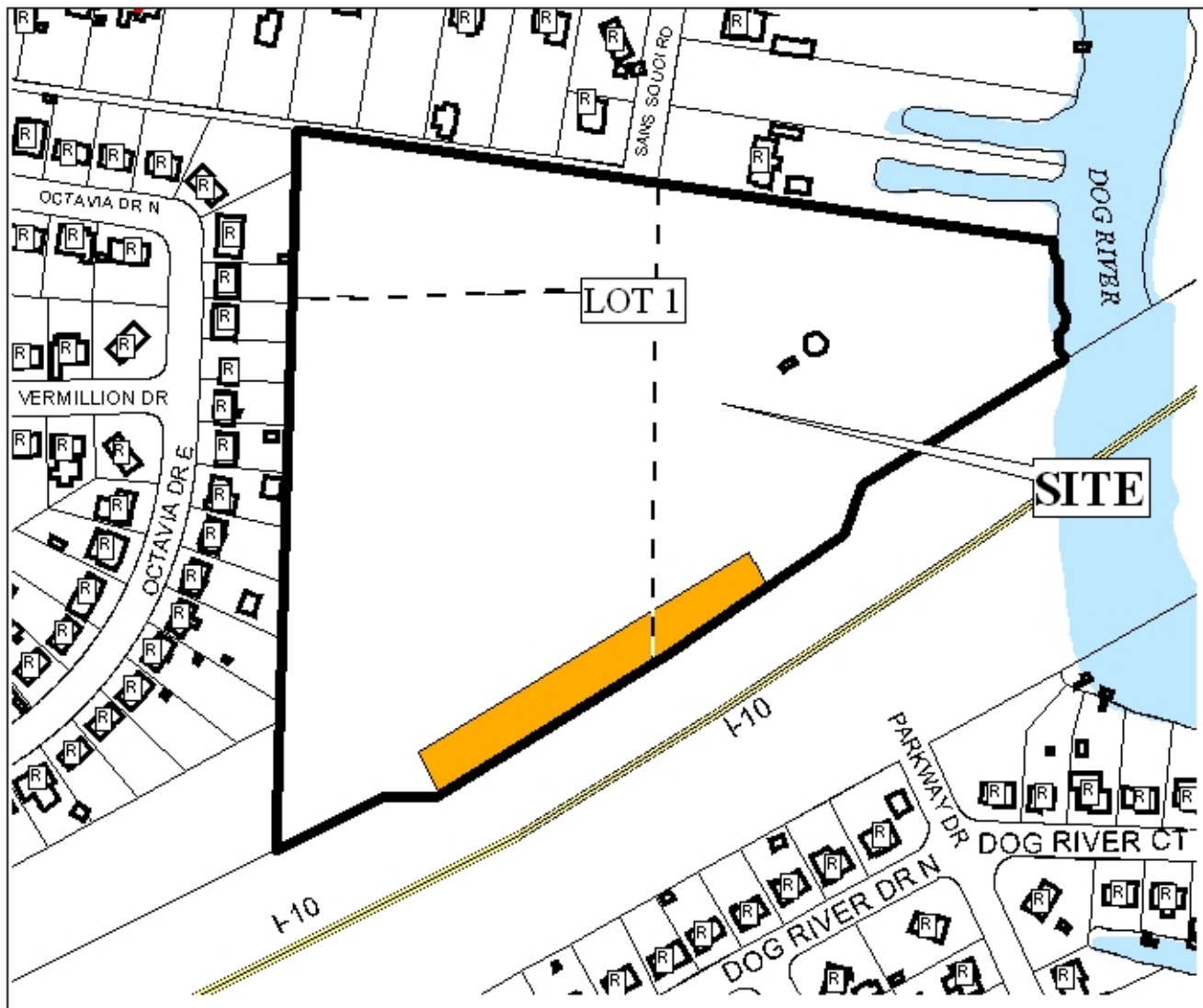
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REQUEST Subdivision, Planned Unit Development



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

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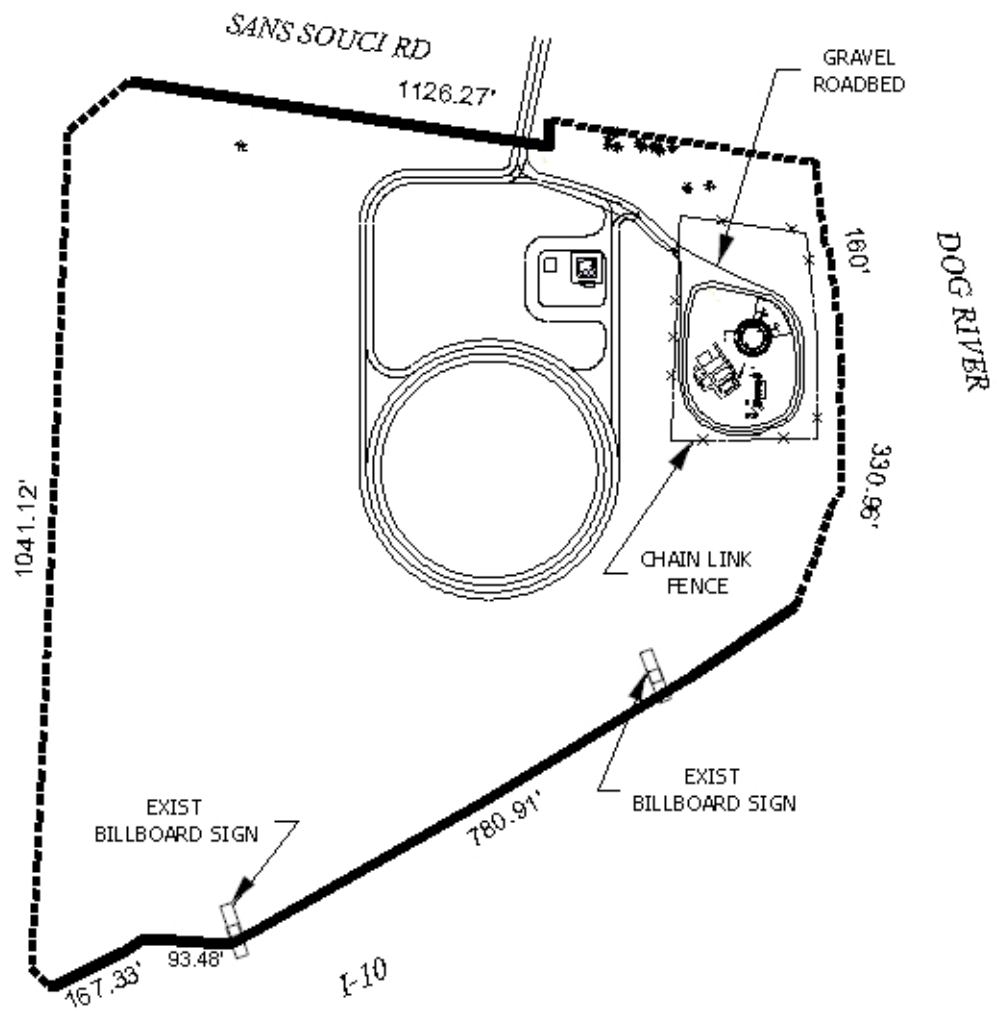
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REQUEST Subdivision, Planned Unit Development

LEGEND

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R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	

SITE PLAN



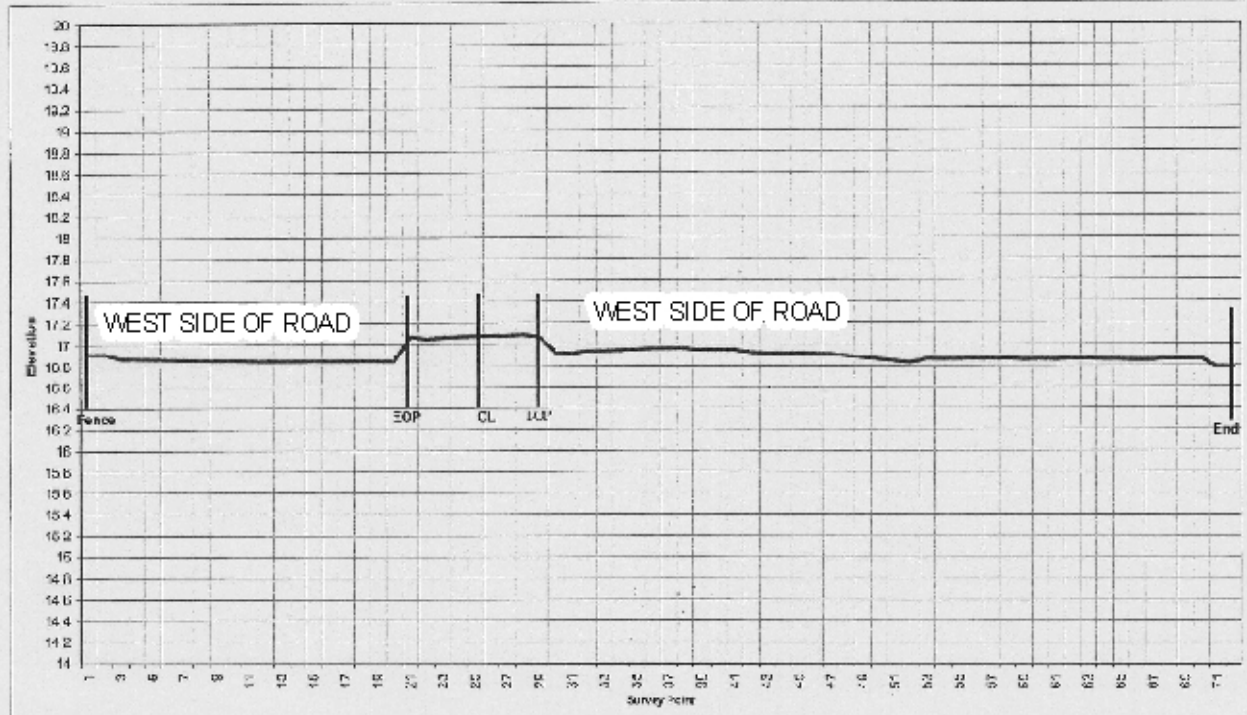
The site plan illustrates existing and proposed buildings, roads, fences, and signs.

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SIDEWALK CROSS SECTION DETAIL



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