

**SIDEWALK WAIVER REQUEST
STAFF REPORT****Date: April 4, 2013****NAME**

Thermo King

LOCATION5340 Willis Road
(South and East side of Willis Road, 320 + West of USHY
90 W)**PRESENT ZONING**

I-1, Light Industrial District

ENGINEERING**COMMENTS**

Due to the existing site conditions, limited usable land adjacent to the existing roadways, and the type of businesses operating in this area it is recommended that this request be approved.

TRAFFIC ENGINEERING**COMMENTS**

No comments.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting a waiver for the construction of a sidewalk along Willis Road, which abuts the site along two sides.

The applicant proposes to construct a new building on the currently undeveloped site, which is industrially zoned. The applicant states that it would be *“impractical to install a sidewalk at this location as it would restrict the flow of storm water runoff in the marginal swale.”*

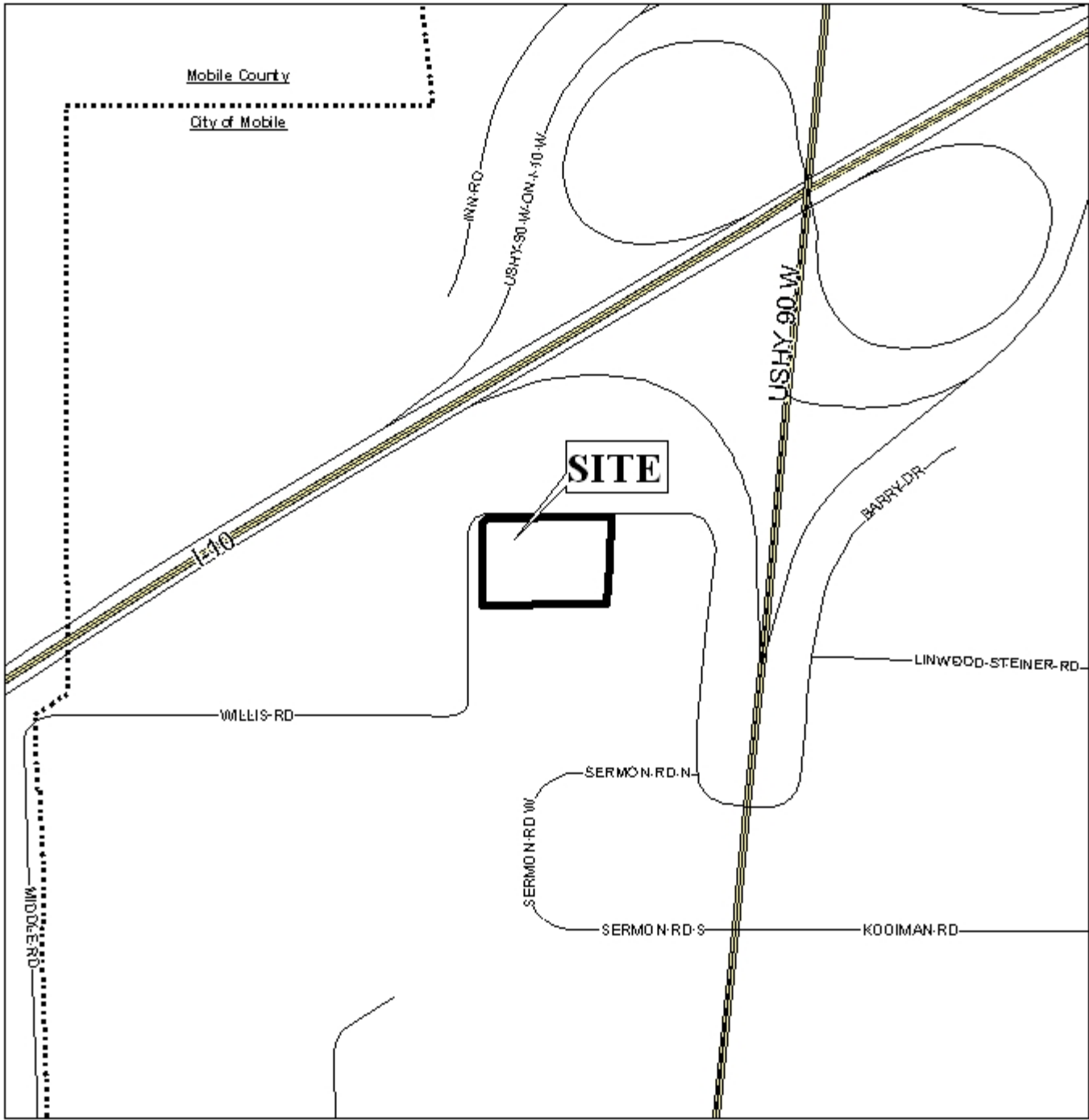
Willis Road is a minor street with a two lane cross-section at this location, and a right-of-way width of 50-feet. The road lacks curb-and-gutter, lacks sidewalks, and appears to have limited drainage. The road is also subject to a 90 degree turn abutting the site, and several other 90 degree turns within several hundred feet of the site. Nearly all adjacent uses are of an industrial nature, and would be unlikely to generate or draw much pedestrian traffic. Furthermore, nearly all other existing development along Willis Road was built prior to annexation into the city.

Sidewalks are always desirable, even in areas lacking great demand: if pedestrians are present and no sidewalks are available, pedestrians will tend to walk in the street if the right-of-way edge is uneven, muddy or poorly maintained. Engineering has recommended, however, that the waiver request be approved.

RECOMMENDATION

Based upon the preceding, this application for sidewalk waiver is recommended for approval.

LOCATOR MAP

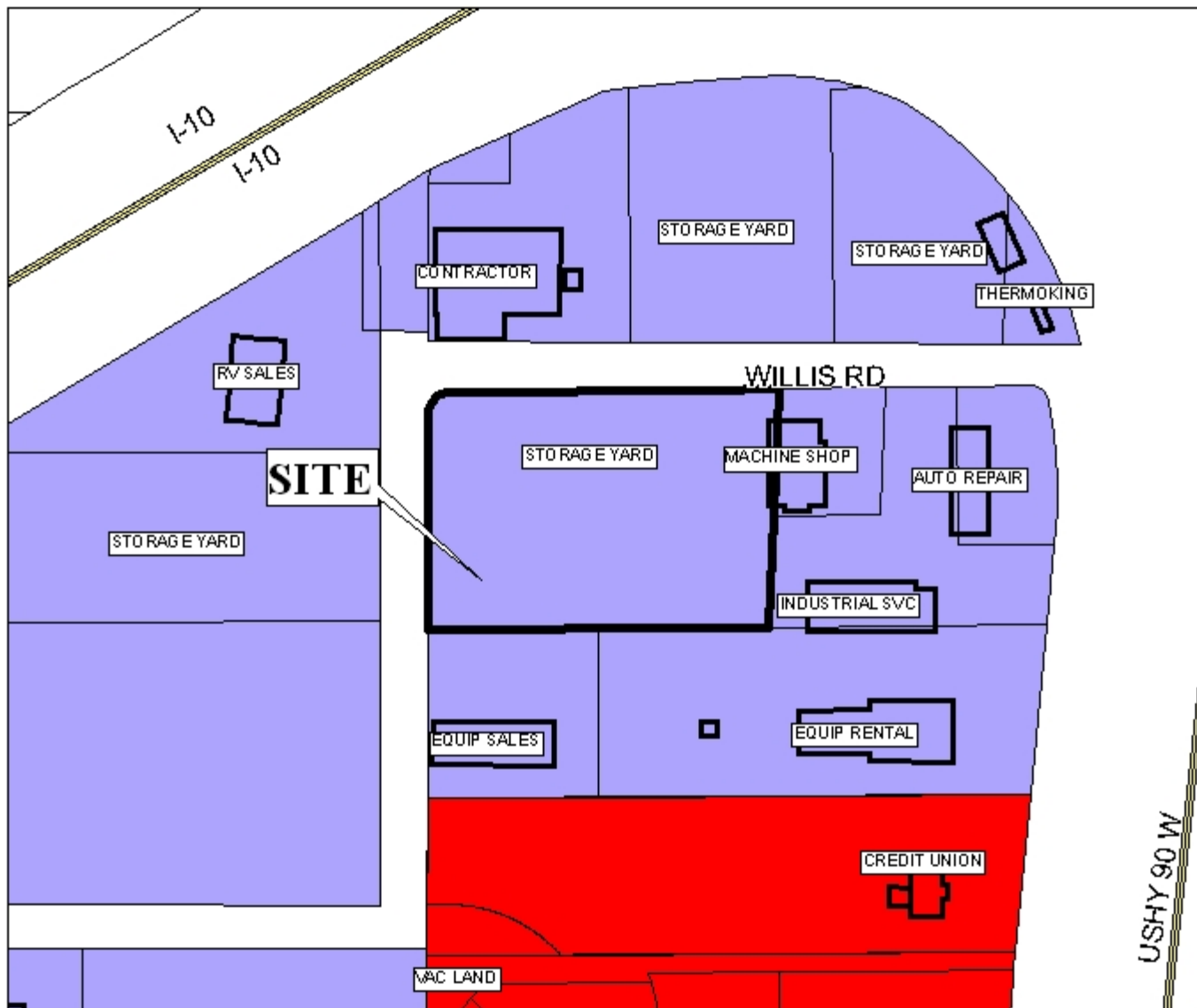


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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial and industrial land use.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

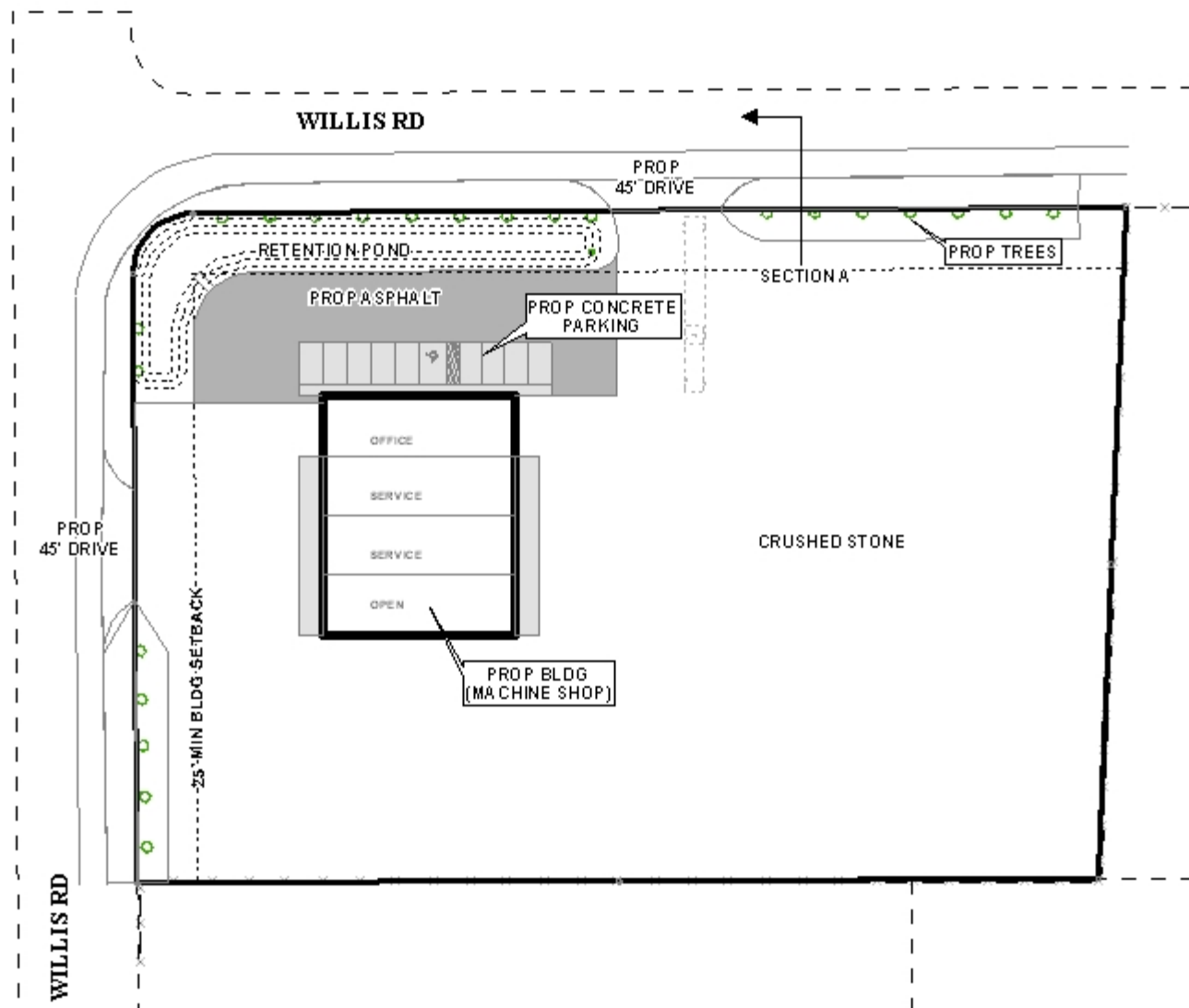


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SITE PLAN

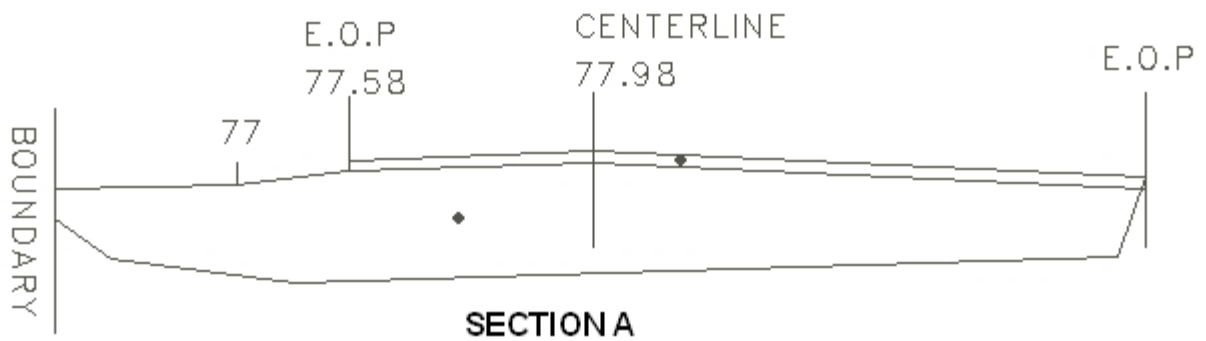


The site plan illustrates the proposed development.

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DETAIL SITE PLAN



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