

THE LEGENDS AT MAGNOLIA GROVE

SUBDIVISION, UNIT 2

Engineering Comments: It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 20.0 acre \pm , 53 lot subdivision which is located on the North terminus of Legends Row, extending North to Graham Road, and the West terminus of Champions Run, and is in Council District 7. The applicant states that the subdivision is served by both public water and sanitary sewer.

The proposed subdivision is the second unit for The Legends of Magnolia Grove Subdivision, which was most recently approved by the Planning Commission on April 6, 2006, subject to the following conditions:

- 1) depiction of the 25-foot minimum building setback line;
- 2) revision of the plat to reflect paving to City standards of a portion of Graham Road sufficient to reach the paved portion of Mayflower Drive;
- 3) revision of the plat to provide a street-stub to land-locked parcel R022309322000102.; and
- 4) full compliance with all other municipal codes and ordinances.

The most recent approval follows several applications for the site since 1999. Previous applications limited development of the overall subdivision "until another access is provided to either Moffett Road or Schillinger Road via an improved, City standard street."

The current application proposes a street-stub to the North, connecting the proposed subdivision with Graham Road, a minor street, as well as two street-stubs to the West (one of which is to the land-locked parcel in condition # 3, above) and one to the South. The proposed subdivision also

connects to Legends Row and Champions Run, both minor streets with adequate rights-of-way. Graham Road is not paved, and as per condition number 2 above, the applicant must pave a portion of Graham Road to City standards to reach the paved portion of Mayflower Drive. The area to be paved must be reflected on the Final Plat, and the road improvements must be accepted by the City of Mobile before recording of the Final Plat, if approved.

Access management is a concern due to lots 31 through 40 having double frontage (both the front and the rear of the property abut public rights-of-way). A note should be placed on the plat stating that direct access to Graham Road is denied for all lots. A note should also be placed on the plat stating that each lot is limited to one curb-cut each, with the size, design and location to be approved by Traffic Engineering and conform with AASHTO standards.

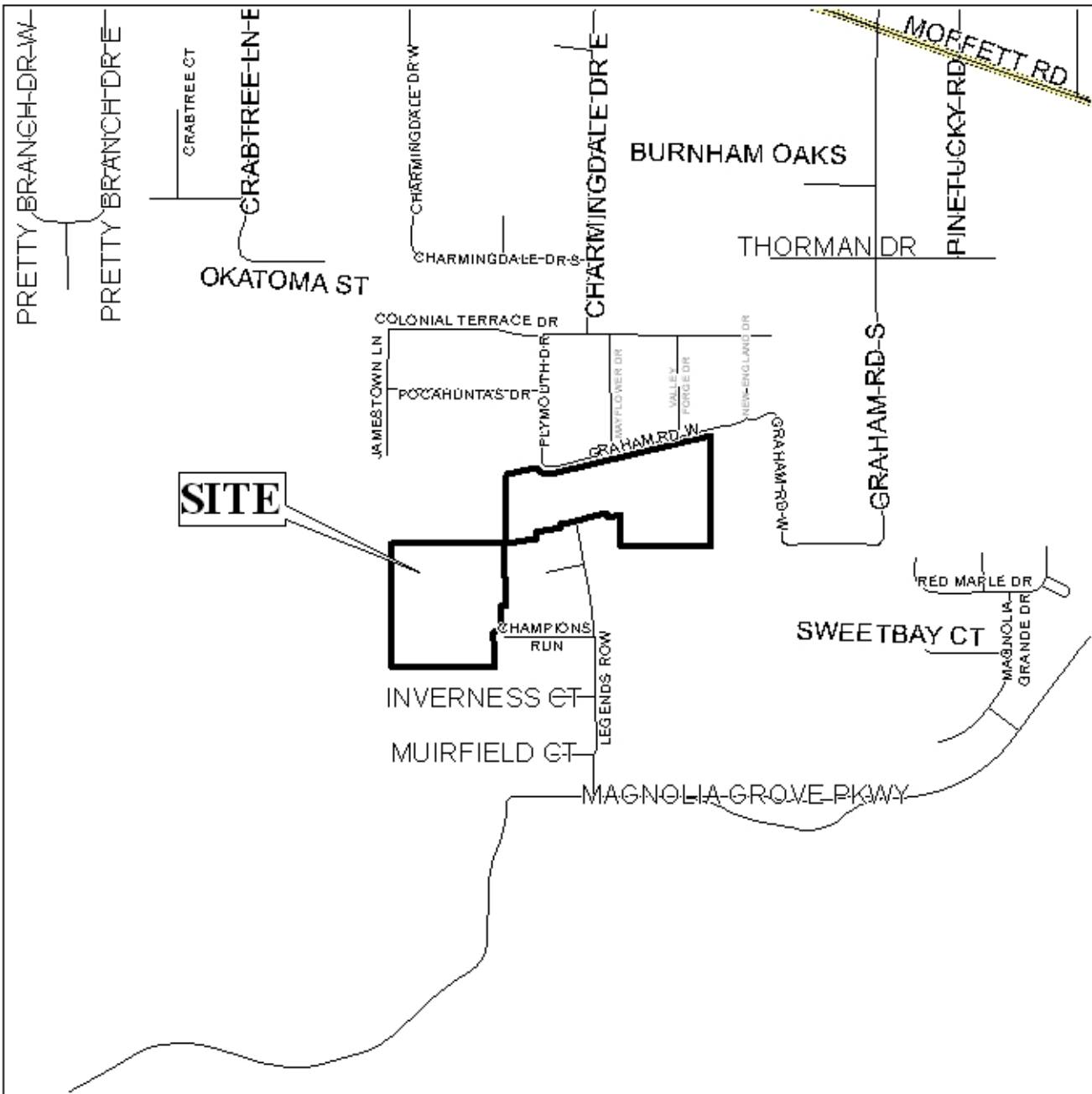
The 25-foot minimum building setback line, required in Section V.D.9., is shown for most of the lots within the subdivision, however, it also should be depicted for those lots with rear frontage along Graham Road. The plat should be revised to show the setback line from all street right-of-ways.

A common area for detention is depicted on the plat. A note on the preliminary plat states that the common area will be maintained by the property owners association: this note should be retained for the final plat, if approved. Any other common areas should be depicted on the plat and labeled, as necessary.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to reflect paving to City standards of a portion of Graham Road sufficient to reach the paved portion of Mayflower Drive;
- 2) placement of a note on the final plat stating that all lots are denied direct access to Graham Road;
- 3) placement of a note on the final plat stating that all lots are limited to one curb-cut each, with the size, design and location to be approved by Traffic Engineering, and to conform with AASHTO standards;
- 4) depiction of an additional 25-foot minimum building setback line on the rear portion of those lots with frontage onto Graham Road;
- 5) labeling of all common areas and detention common areas, and retaining of the note on the final plat stating that the common areas will be maintained by the property owners association; and
- 6) the labeling of each lot with its size in square feet, as depicted on the preliminary plat, or the provision of a table with the same information on the final plat.

LOCATOR MAP



APPLICATION NUMBER 17 DATE July 5, 2007

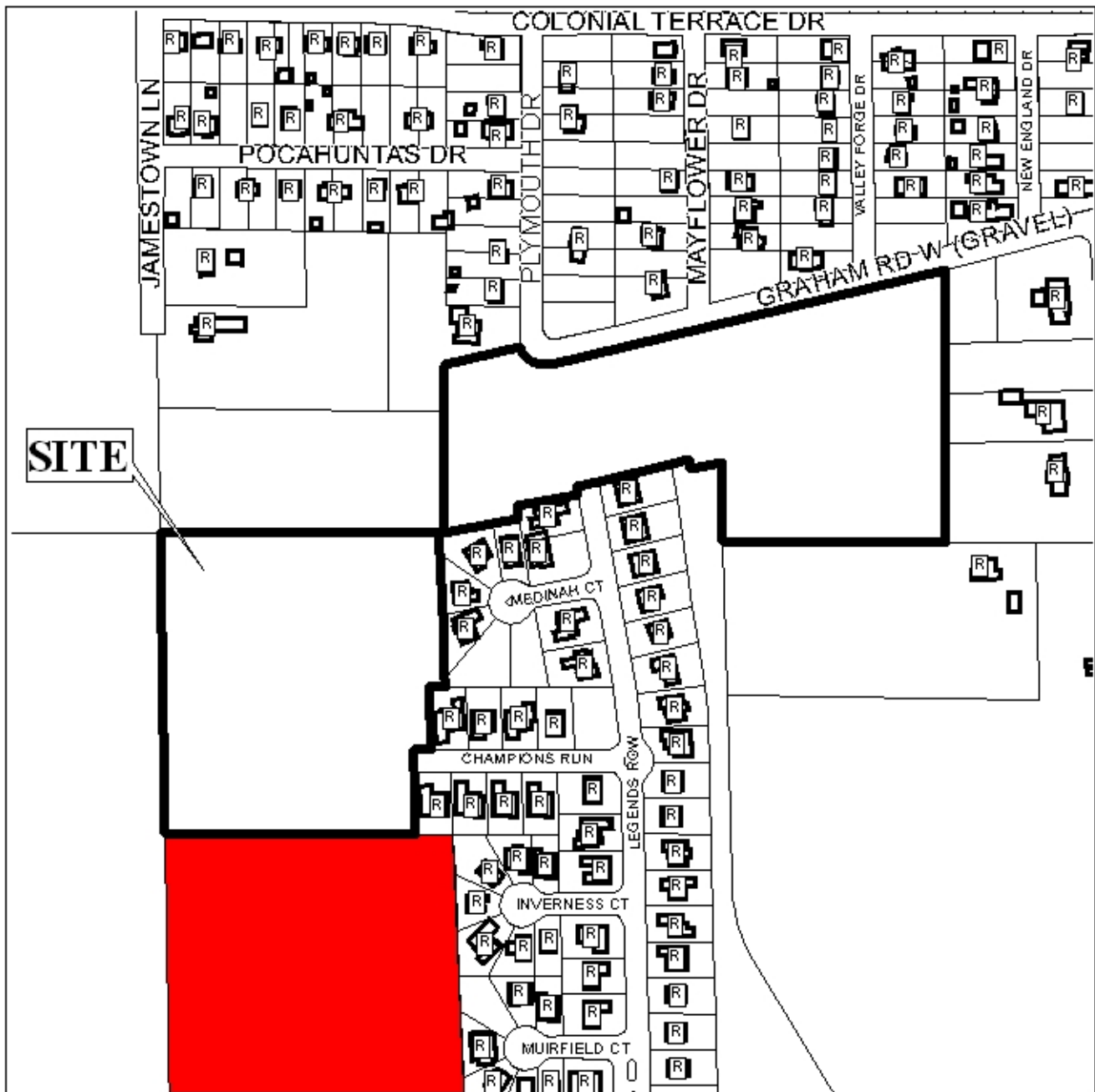
APPLICANT The Legends at Magnolia Grove Subdivision, Unit 2

REQUEST Subdivision



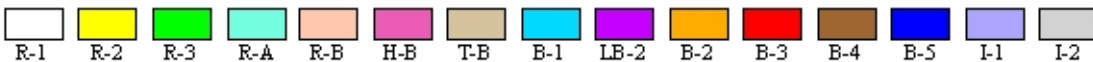
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THE LEGENDS AT MAGNOLIA GROVE SUBDIVISION, UNIT 2



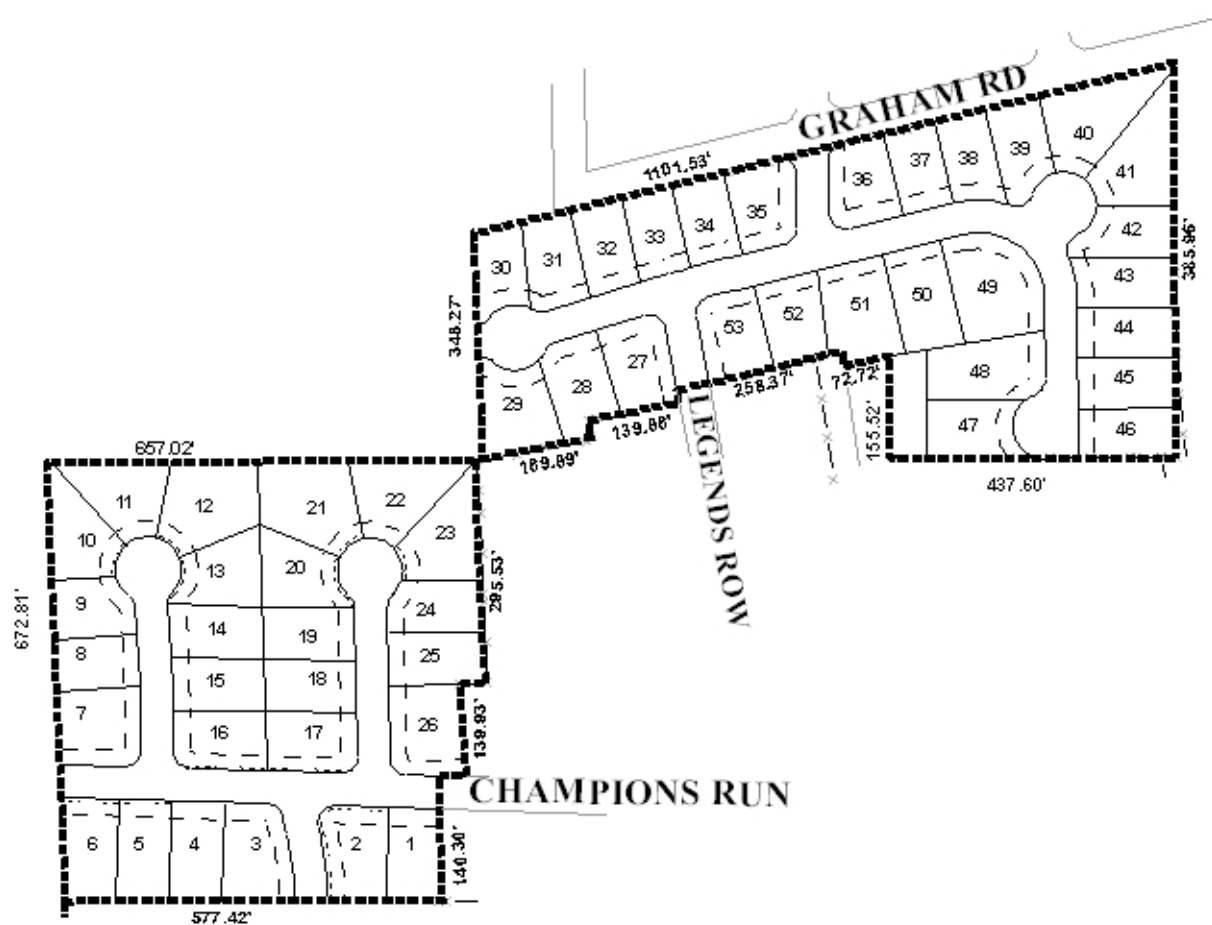
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LEGEND



NTS

DETAIL SITE PLAN



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APPLICANT The Legends at Magnolia Grove Subdivision, Unit 2
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NTS