

## **SURFRIDER SUBDIVISION**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat illustrates the proposed 1.5 ± acre, 2 lot subdivision which is located on the Northeast corner of East I-65 Service Road South and Cottage Hill Road. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to subdivide a metes and bounds parcel into two lots.

Interstate 65, which is illustrated as a variable right-of-way, is shown as a major street on the Major Street Plan, and as such requires a 300-foot right-of-way; therefore, the dedication of sufficient right-of-way to provide 150-feet from the centerline should be required if necessary. Cottage Hill Road, as realigned, has existing right-of-way in compliance.

As a means of access management, the placement of a note on the final plat stating that Lot 1 is limited to one curb cut to Cottage Hill Road Access Road and one curb cut to East I-65 Service Road South, and Lot 2 is limited to two curb cuts to East I-65 Service Road South with the location, size, and design to be approved by Traffic Engineering should be required.

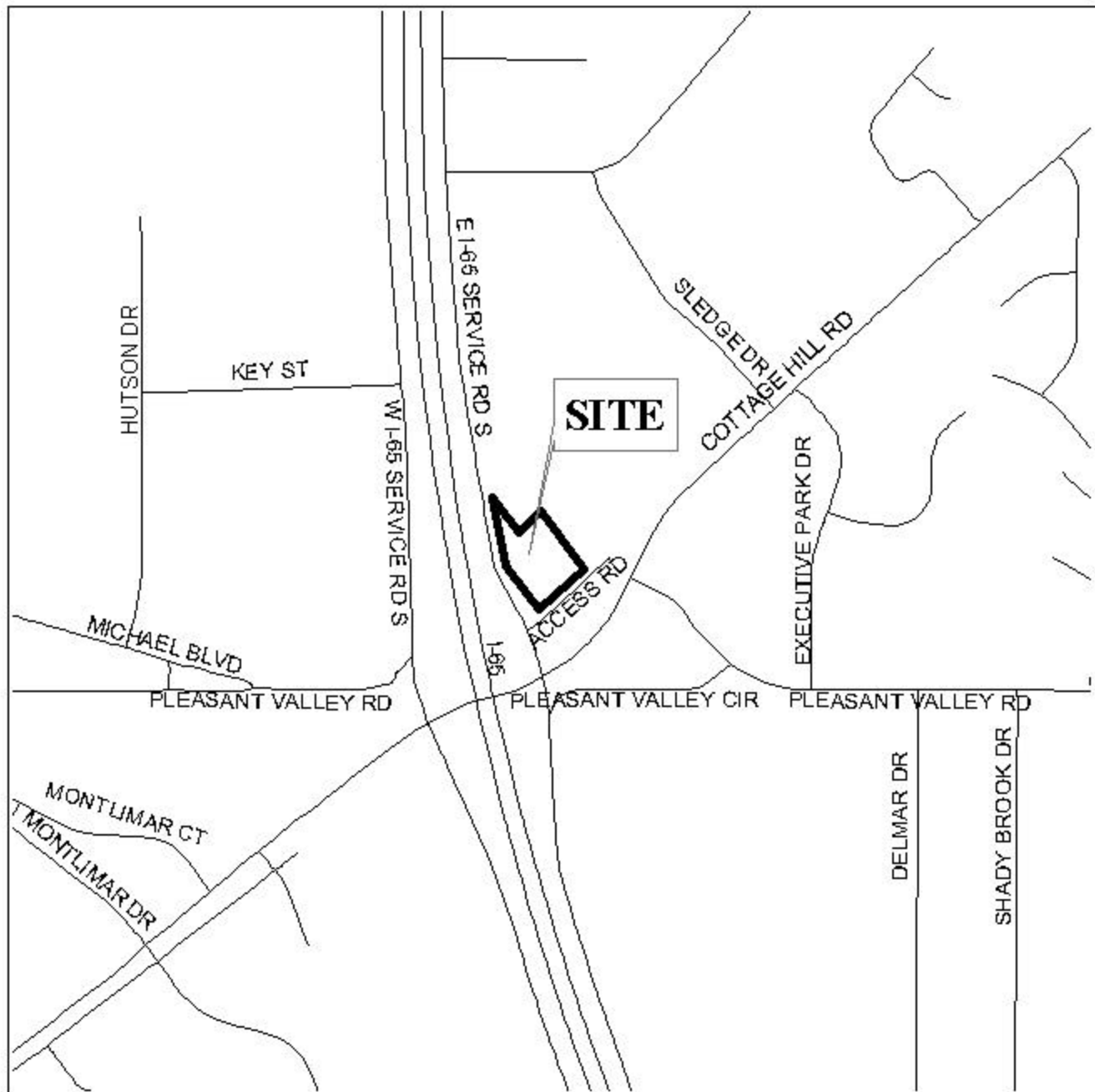
With Lot 1 being a corner lot, the dedication of a 25' radius should be required.

The 25-foot minimum building setback line is not shown but would be required to be shown along both street frontages on the final plat.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of sufficient right-of-way to provide 150' from the centerline of Interstate 65; 2) the placement of a note on the final plat stating the Lot 1 is limited to one curb cut to Cottage Hill Road Access Road and one curb cut to East I-65 Service Road South with the location, size, and design to be approved by Traffic Engineering; 3) the placement of a note on the final plat stating that Lot 2 is limited to two curb cuts to East I-65 Service Road South with the location, size, and design to be approved by Traffic Engineering; 4) the dedication of a 25' radius at the intersection of Cottage Hill Road Access Road and East I-65 Service Road South; and 5) the placement of the 25-foot minimum building setback line on the final plat along both street frontages.

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## LOCATOR MAP



APPLICATION NUMBER 17 DATE July 24, 2003

APPLICANT Surfrider Subdivision

REQUEST Subdivision





