

RIVERCHASE ESTATES SUBDIVISION,
RESUBDIVISION AND ADDITION TO LOTS 17-21

Engineering Comments: Show Minimum FFE on plans and plat for all lots located within the X-Shaded and AE Flood Zones. No fill allowed within a special flood hazard area without providing compensation or completing a flood study showing that there is no rise for the proposed fill within the special flood hazard area. Must comply with all storm water and flood control ordinances. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS show wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: Shall comply with Section 508.5.1 of the 2003 IFC.

Mobile Area Water & Sewer System Comments: No Comments.

The plat illustrates the proposed 54.4± acre, 6-lot subdivision, including approximately 43± acres labeled future development area, which is located on the West side of Rabbit Creek Drive, 3/10 mile± South of Rangeline Service Road, and is located within City Council District 4. The applicant states that the site is served by city water and sewer. It should also be mentioned that further development of the "Future Development Area" will require the submission and approval of a new subdivision application.

The purpose of this application is to create six legal lots from five legal lots and a portion of a metes and bounds parcel. Interior lot lines between lots 17 and 18, and 20 and 21 will be shifted while existing Lot 21 will be expanded and divided. Several of the lots are developed with single-family residences.

Lots 17-21-A of the proposed subdivision fronts Riverchase Drive South, which has 50-feet of right-of-way. Lots 17A-20A front Riverchase Drive South and Rabbit Creek Drive, a minor street with an unspecified right-of-way (right-of-way width is 60-feet according to the plat recorded in 1996; however the plat under consideration provides no right-of-way information. It should be noted that, dedication to provide 30-feet from the centerline of Rabbit Creek Drive

would be required. It should be noted that these lots are substandard and do not have the appropriate buildable square footage, but must be included in this subdivision.

As a means of access management, Lots 17, 18, 19, 20, 21A and 21B should be allowed one curb cut to Riverchase Drive South, and conform to AASHTO standards. Furthermore Lot 21B and Lots 17A through 20A should be denied access to Rabbit Creek Drive.

Riverchase Estates Subdivision was Final Platted in February 1996 illustrating Riverchase Drive South, Riverchase Drive North and Riverchase Drive East as private streets; at that time the subdivision was within the Planning Jurisdiction. In 1998, the owners of all lots were successful in petitioning the City Council for annexation, the City of Mobile accepted maintenance for these streets in March 2004.

The proposed addition of a portion of the metes and bounds parcel proposing Lot 21B would create a lot split between the City of Mobile and the Planning Jurisdiction. Therefore, the owner of the lot should petition the city to take this portion within its jurisdiction.

As proposed, Lots 17, 18, 19, 20, 21A and 21B would exceed the depth-to-width ratio of Section V.D.3. of the Subdivision Regulations; however, narrow, deep lots are typical of waterfront properties within the area and this would be typical of the neighborhood.

Wetlands exist on a portion of the site as illustrated on the plat. The site may also be within the floodplain of Rabbit Creek; the presence of wetlands as indicated on the preliminary plat the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

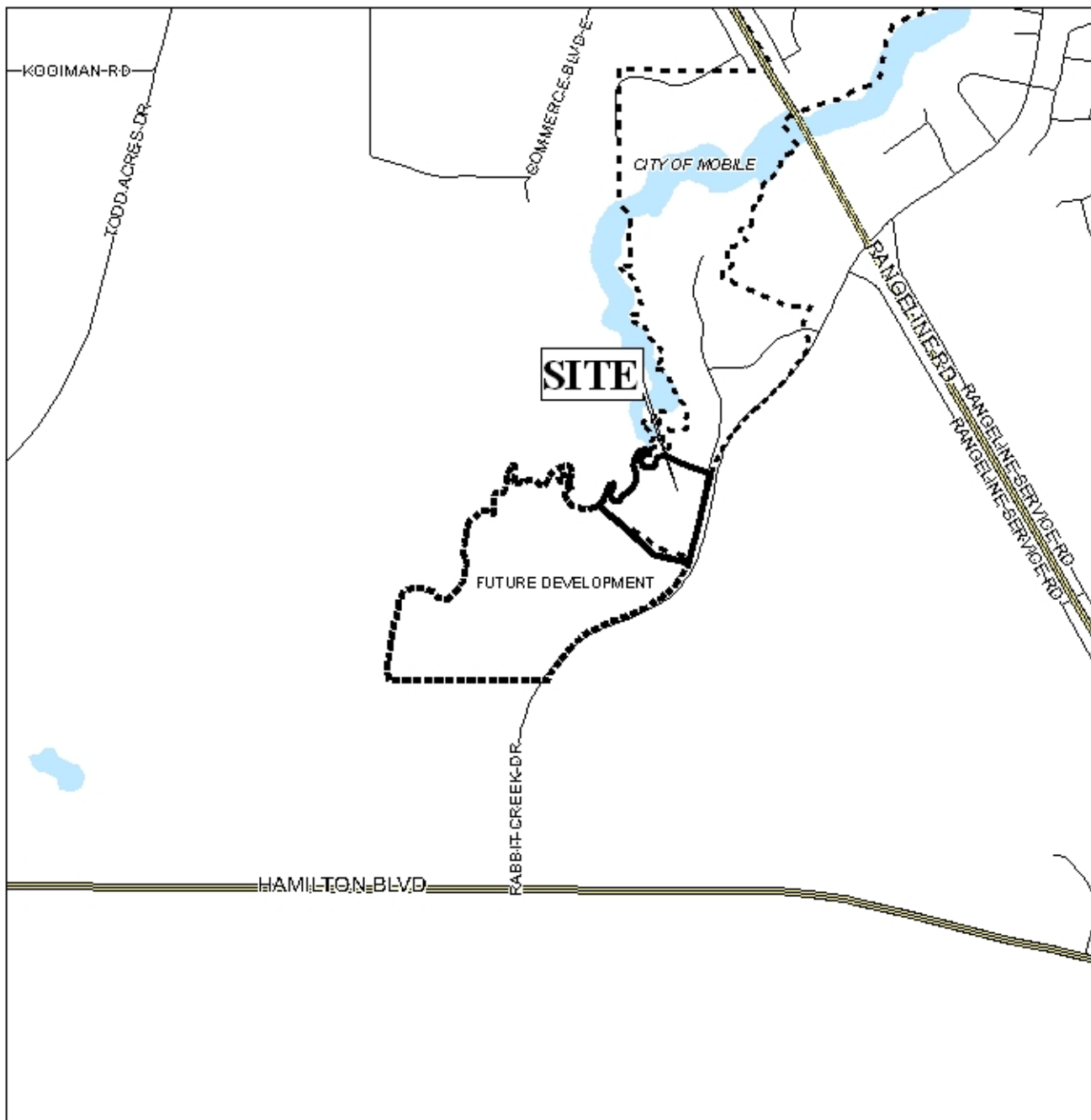
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.3. of the Subdivision Regulations, the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) the dedication of sufficient right-of-way to provide 30-feet of right-of-way from the centerline of Rabbit Creek Drive;
- 2) placement of a note on the Final Plat stating that Lots 17, 18, 19, 20, 21A and 21B are limited to one curb, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) the placement of a note on the Final Plat stating that Lot 21B and Lots 17A through 20A are denied access to Rabbit Creek Drive;
- 4) certification via placement of a note on the plat stating that the property owner/developer will comply with all local, state and federal regulations regarding endangered, threatened or otherwise protected flora and fauna;

- 5) labeling of each lot with its size in both square feet and acreage, or the furnishing of a table on the final plat providing the same information; and
- 6) the provision that all of Lot 21A is located within the City of Mobile jurisdiction prior to the signing of the Final Plat.

LOCATOR MAP



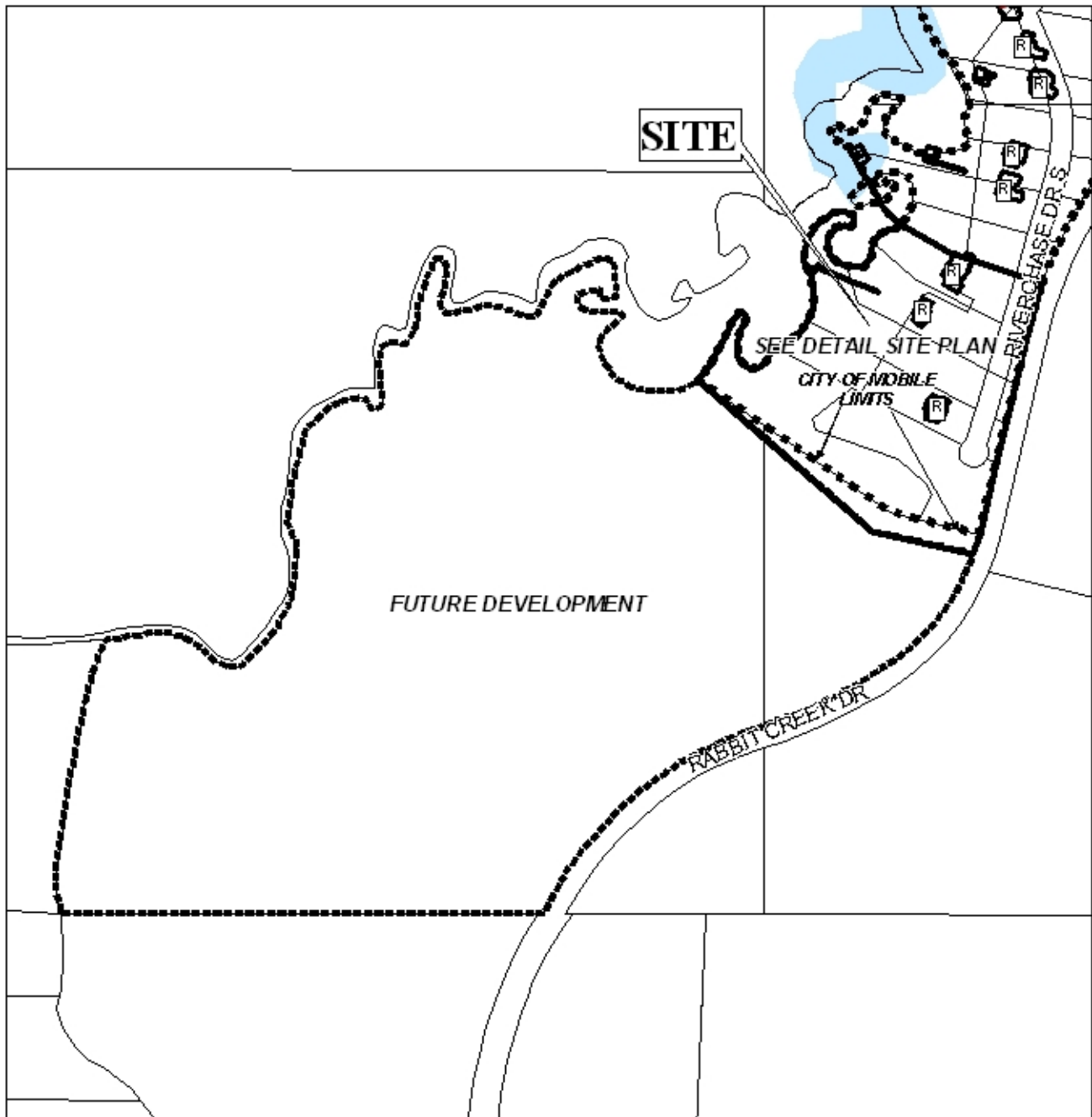
APPLICATION NUMBER 17 DATE September 4, 2008

APPLICANT Riverchase Estates Subdivision, Resubdivision and Addition to Lot 17-21

REQUEST Subdivision



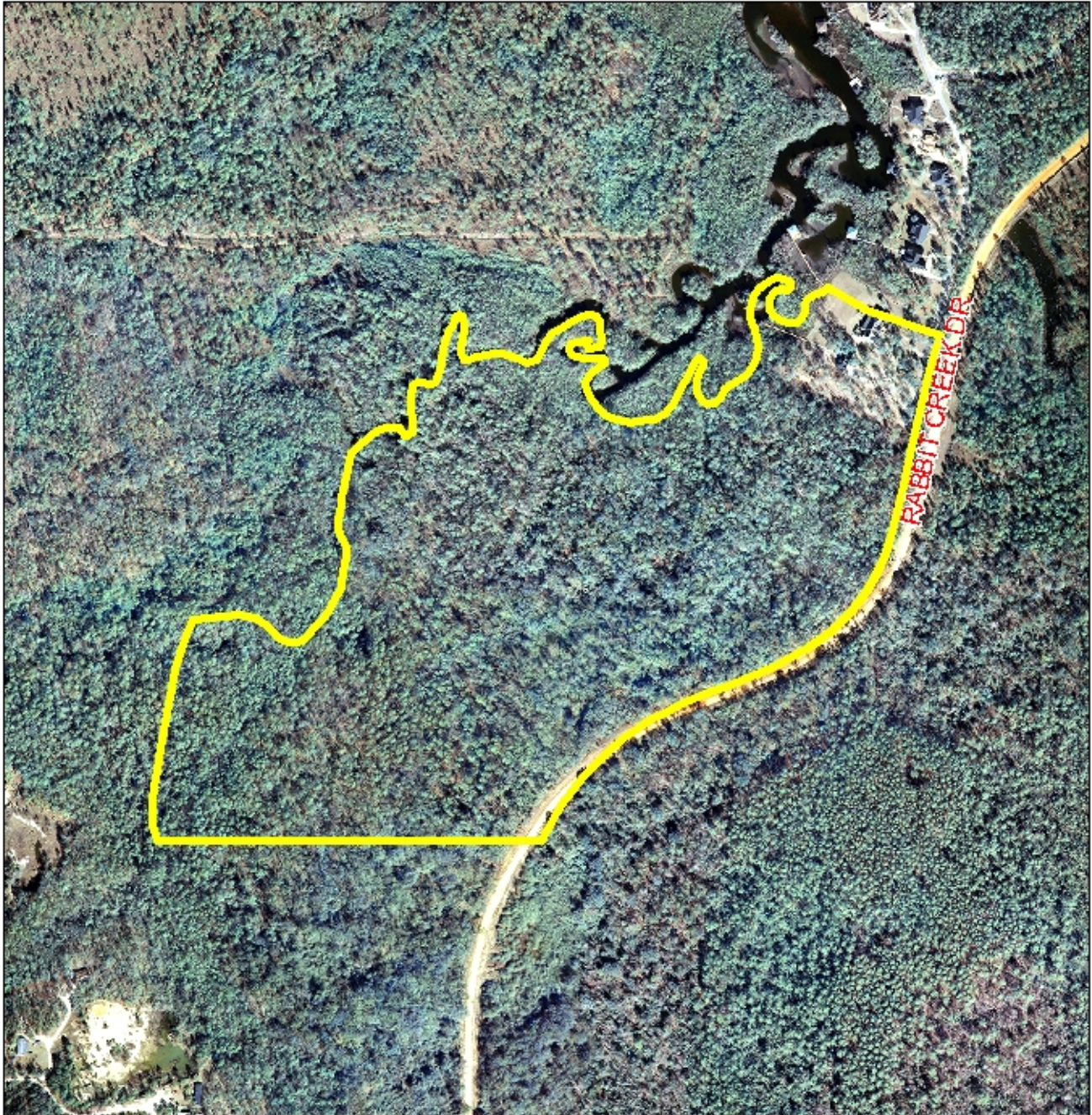
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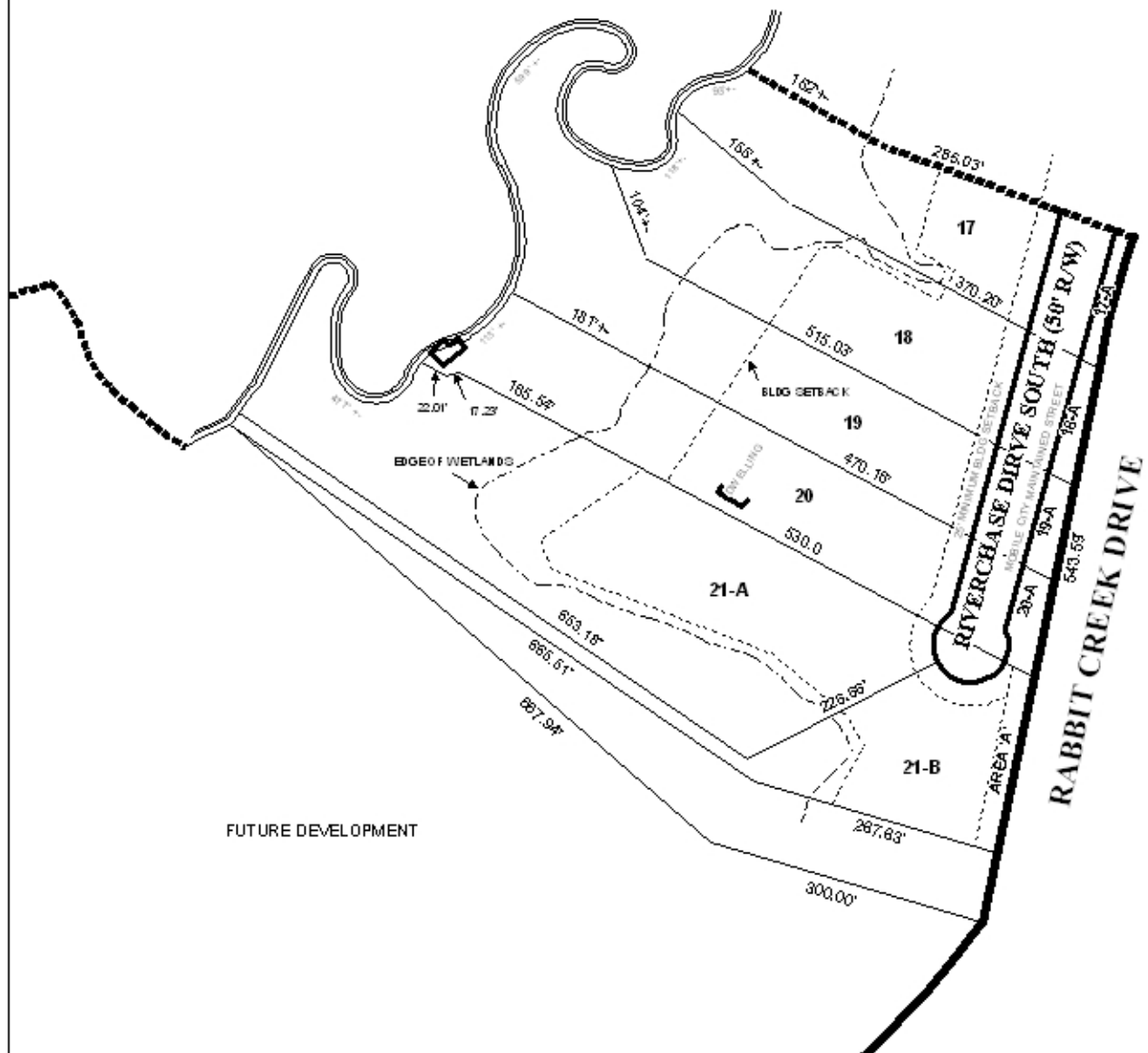
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DETAIL SITE PLAN



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