

**SUBDIVISION, PLANNING APPROVAL &
SIDEWALK WAIVER STAFF REPORT****Date: November 6, 2014****NAME**

R L REGI Alabama, LLC

SUBDIVISION NAME

Rangeline Crossing Subdivision

LOCATION5289 Halls Mill Road
(East side of Halls Mill Road, 230'± North of Rangeline Road, extending to the North side of Rangeline Road and the West side of Demetropolis Road)**CITY COUNCIL
DISTRICT**

District 4

AREA OF PROPERTY

2 Lot / 82.7± Acres

CONTEMPLATED USE

Subdivision approval to create two legal lots of record, Planning Approval to allow a truck maintenance facility in a B-3, Community Business District, and Sidewalk Waiver to waive the construction of a sidewalk along Halls Mill Road.

PRESENT ZONING

B-3, Community Business District

**ENGINEERING
COMMENTS**

Subdivision: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- B. Provide the Surveyor's Certificate and Signature.
- C. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- D. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- E. Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.
- F. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Planning Approval: No comments.

Sidewalk Waiver: It appears that there is sufficient room within the Halls Mill Rd. ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

TRAFFIC ENGINEERING

COMMENTS

Each lot is limited to two curb cuts per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

MAWSS COMMENTS

MAWSS has water services available. Sewer can be made available with a main line extension. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Subdivision approval to create two legal lots of record from four existing legal lots of record, along with two common areas and a large "future development" area, all of a previous subdivision; Planning Approval to allow a truck maintenance facility in a B-3, Community Business District; and Sidewalk Waiver approval to waive construction of a sidewalk along Halls Mill Road. The site is located in Council District 4, and according to the applicant, is served by public water and sanitary sewer services.

The site consists of the entirety of Halls Mill Crossing Subdivision, approved by the Commission in 2008. Since then there have been two other proposed Subdivisions of the site approved by the Commission, the most recent having been in March, 2014. Neither of those was recorded. The applicant now proposes two lots, one of which is proposed to be developed with a truck maintenance facility along Halls Mill Road, and a Sidewalk Waiver request to waive construction of a sidewalk along Halls Mill Road in front of the proposed development. Since the entire site is zoned B-3, Planning Approval is required to allow the truck maintenance facility in this zoning district. It should be noted that the internal street proposed with the last two Subdivision applications for this site has now been deleted.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Halls Mill Road, Rangeline Service Road North, and Demetropolis Road. Halls Mill Road is a collector street with a required 70' right-of-way along a portion of the frontage. Dedication from the recording of Halls Mill Crossing Subdivision provided 35' from the centerline along the frontages of two of the recorded lots, but none along the Future Development frontage where the 50' right-of-way remained. Dedication would be required along Halls Mill Road to provide 35' from the centerline within that area and is so indicated on the preliminary plat. Rangeline Road is a component of the Major Street with a planned 300' right-of-way width. The plat indicates a current compliant 410' right-of-way along Rangeline Road; therefore, no dedication would be required. Demetropolis Road is a minor street without curb and gutter requiring a 60' right-of-way. The plat indicates dedication to provide a compliant 30' from the centerline of Demetropolis Road.

Each lot would have over 200' of street frontage along all street frontages. As a means of access management, a note should be required on the Final Plat stating that each lot is limited to two curb cuts per abutting street frontage, with the size, location, and design of all curb cuts to be approved by Traffic Engineering and ALDOT (where applicable) and conform to AASHTO standards.

The plat illustrates the 25' minimum building setback line along Demetropolis Road as measured from the required frontage dedication. However, there is a 15' water and sewer easement slightly further within the property along that street frontage. Therefore, the plat should be revised to illustrate a minimum building setback line along Demetropolis Road as necessary to also include this easement and measured from the required dedication. As shown in other areas of the site, the 25' minimum building setback line should also be illustrated along all street frontages as measured from any required right-of-way dedication.

As on the preliminary plat, the lot sizes should be labeled on the Final Plat in both square feet and acres, after any required right-of-way dedication, or a table should be furnished on the Final Plat providing the same information. Lots, common areas, and a restricted use parcel, all recorded with Halls Mill Crossing Subdivision, would be eliminated and those areas would become part of Lot 2.

The Subdivision process should be completed prior to the issuance of permits for development of either lot.

As submitted, the plat contains a note and signature block for County Engineering. County Engineering no longer signs Subdivision plats where the subject property is fully within the City limits of Mobile; therefore, this note and signature block should be removed from the Final Plat.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

As previously stated, a truck maintenance facility is proposed for Lot 1. As the site is zoned B-3, Planning Approval is required to allow such an operation in this zoning classification; hence the Planning Approval application.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district. It is very important to note that the Planning Approval review is site plan specific; therefore any future changes to the overall site plan must be submitted for Planning Approval review. Additionally, if the site plan is changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The proposed use as a truck maintenance facility would seem in order with the surrounding area. Across Halls Mill Road from the site is a mixture of warehousing and building materials sales, all within B-3 zoning. Adjacent to the North side of the site is a land-locked area within the County completely surrounded by the City of Mobile and also with a mixture of warehousing, building materials sales, and offices. There is no residential use within the immediate area of the proposed facility.

The site plan indicates a proposed 29,338 square-foot building with associated parking and landscaping areas. As presented, the parking calculations should be rounded up to indicate 25 parking spaces required for office use, with a total of 31 spaces required for the office and warehouse/service area uses. The site plan does not provide property boundary dimensions. Therefore, the site plan should be revised to provide the dimensions of the property lines.

Landscaping and tree planting calculations indicate compliance with the requirements of the Zoning ordinance. It should be noted that all parking, landscaping and tree planting calculations were provided via a separate sheet; therefore, the site plan should be revised to include these calculations.

As the site has approximately 357' of linear street frontage, the allowance of two curb cuts as indicated on the site plan would be in order. The site plan indicates the curb cut widths to be approximately 35' to allow for semi truck ingress and egress. Therefore, the curb cut widths should be coordinated with Traffic Engineering. As no sidewalk is indicated on the site plan, and as an associated Sidewalk Waiver is requested, should the Waiver be denied, the site plan should be revised to indicate a compliant public sidewalk along Halls Mill Road.

As the site is proposed to have more than 25 parking spaces, lighting of the entire site to comply with Sections 64-4.A.2. and 64-6.A.8 of the Zoning Ordinance would be required, which will require the submission of a photometric plan at the time of application for a land disturbance permit.

Regarding the Sidewalk Waiver request, the applicant states *“This facility will be an office/warehouse maintenance building for FleetPride. There are no other properties north or south of this site that have sidewalks on either side of the road. Also, there is a paved ditch parallel with Halls Mill Road.”*

It should be noted that a lack of sidewalks on nearby properties is not sufficient justification to waive the provision of a sidewalk. The Engineering Department states that it appears that there is sufficient room within the Halls Mill Road ROW, or within the property, for the construction of a sidewalk that could be approved through the ROW Permit process.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) dedication to provide 35' from the centerline of Halls Mill Road as indicated on the plat;
- 2) dedication to provide 30' from the centerline of Demetropolis Road as indicated on the plat;
- 3) placement of a note on the Final Plat stating that each lot is limited to two curb cuts per abutting street frontage, with the size, location, and design of all curb cuts to be approved by Traffic Engineering and ALDOT (where applicable) and conform to AASHTO standards;
- 4) revision of the plat to illustrate a minimum building setback line along Demetropolis Road as necessary to also include the 15' water and sewer easement, as measured from any required right-of-way dedication;
- 5) retention of the 25' minimum building setback line along all other street frontages as measured from any required right-of-way dedication;
- 6) retention of the labeling of the lot sizes in both square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 7) completion of the Subdivision process prior to the issuance of any permits for the development of either lot;
- 8) removal of the County Engineering note and signature block from the Final Plat;
- 9) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 10) compliance with the Engineering comments: *[The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: 1) Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 2) Provide the Surveyor's Certificate and Signature. 3) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. 4) Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at*

time of development, unless a sidewalk waiver is approved. 5) Remove the County Engineer's signature block from the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile. 6) Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.];

- 11) compliance with the Traffic Engineering comments: *[Each lot is limited to two curb cuts per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.];*
- 12) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)];* and
- 13) compliance with the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

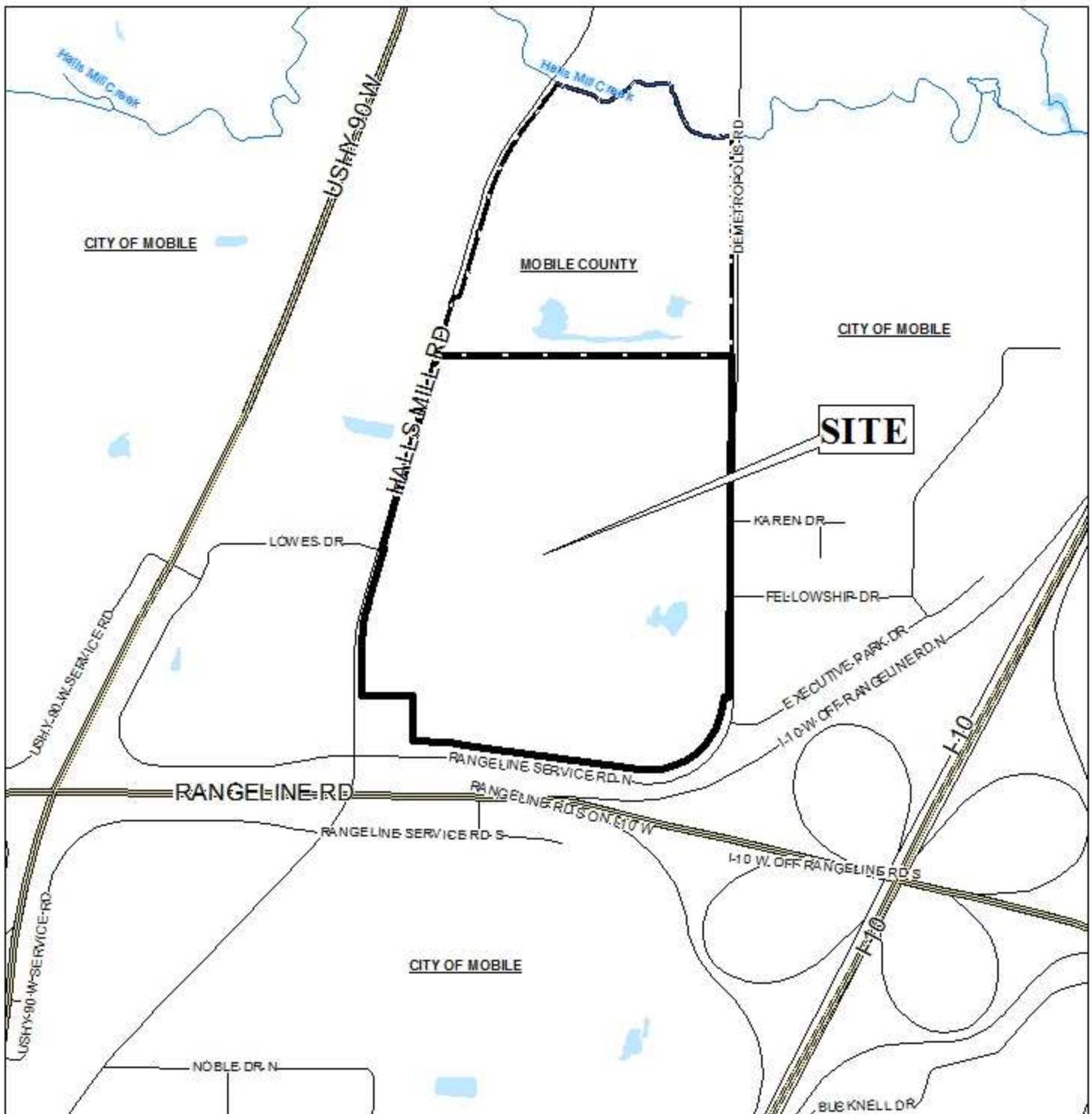
Planning Approval: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) revision of the site plan to include parking calculations to be rounded up to indicate 25 parking spaces required for office use, with a total of 31 spaces required for the office and warehouse/service area uses;
- 2) revision of the site plan to provide the dimensions of the property boundaries;
- 3) revision of the site plan to include the landscaping and tree planting calculations;
- 4) placement of a note on the site plan stating that the site is limited to two curb cuts to Halls Mill Road with the location, size and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) revision of the site plan to indicate a City standard sidewalk along Halls Mill Road should the Sidewalk Waiver be denied;
- 6) lighting of the entire site to comply with Sections 64-4.A.2. and 64-6.A.8 of the Zoning Ordinance, which will include the submission of a photometric plan at the time of applying for a land disturbance permit;
- 7) completion of the Subdivision process prior to the issuance of any permits for development;
- 8) placement of a note on the site plan stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 9) compliance with the Traffic Engineering comments: *[Each lot is limited to two curb cuts per street frontage, with size, location and design to be approved by ALDOT (where applicable) and Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.];*
- 10) compliance with the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)];*

- 11) compliance with the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile); and*
- 12) full compliance with all municipal codes and ordinances.

Sidewalk Waiver: Based upon the preceding, this request is recommended for denial.

LOCATOR MAP



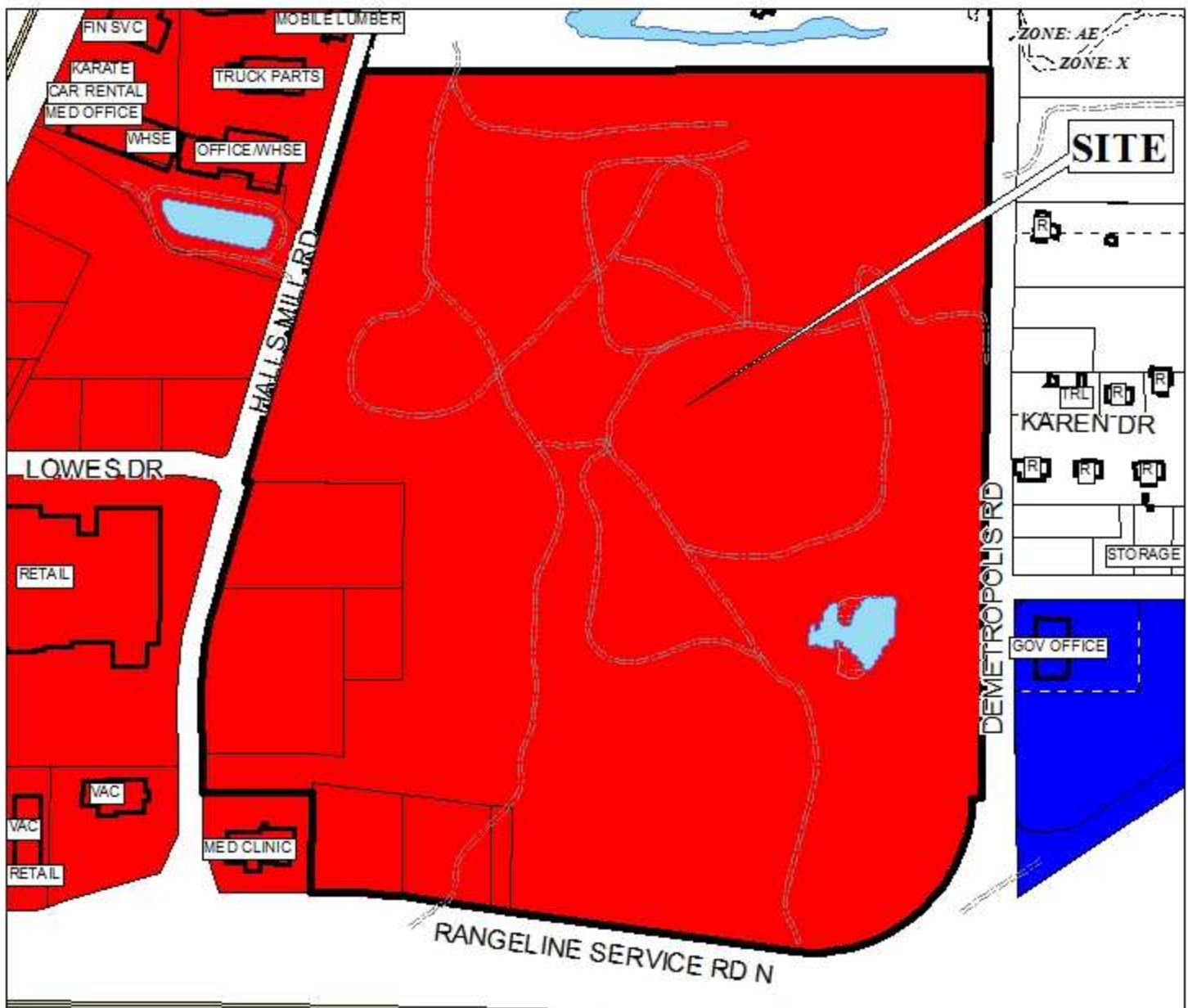
APPLICATION NUMBER 17 DATE November 6, 2014

APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planning Approval, Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units to the west, and residential units to the east.

APPLICATION NUMBER 17 DATE November 6, 2014

APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planning Approval, Sidewalk Waiver

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units to the west, and residential units to the east.

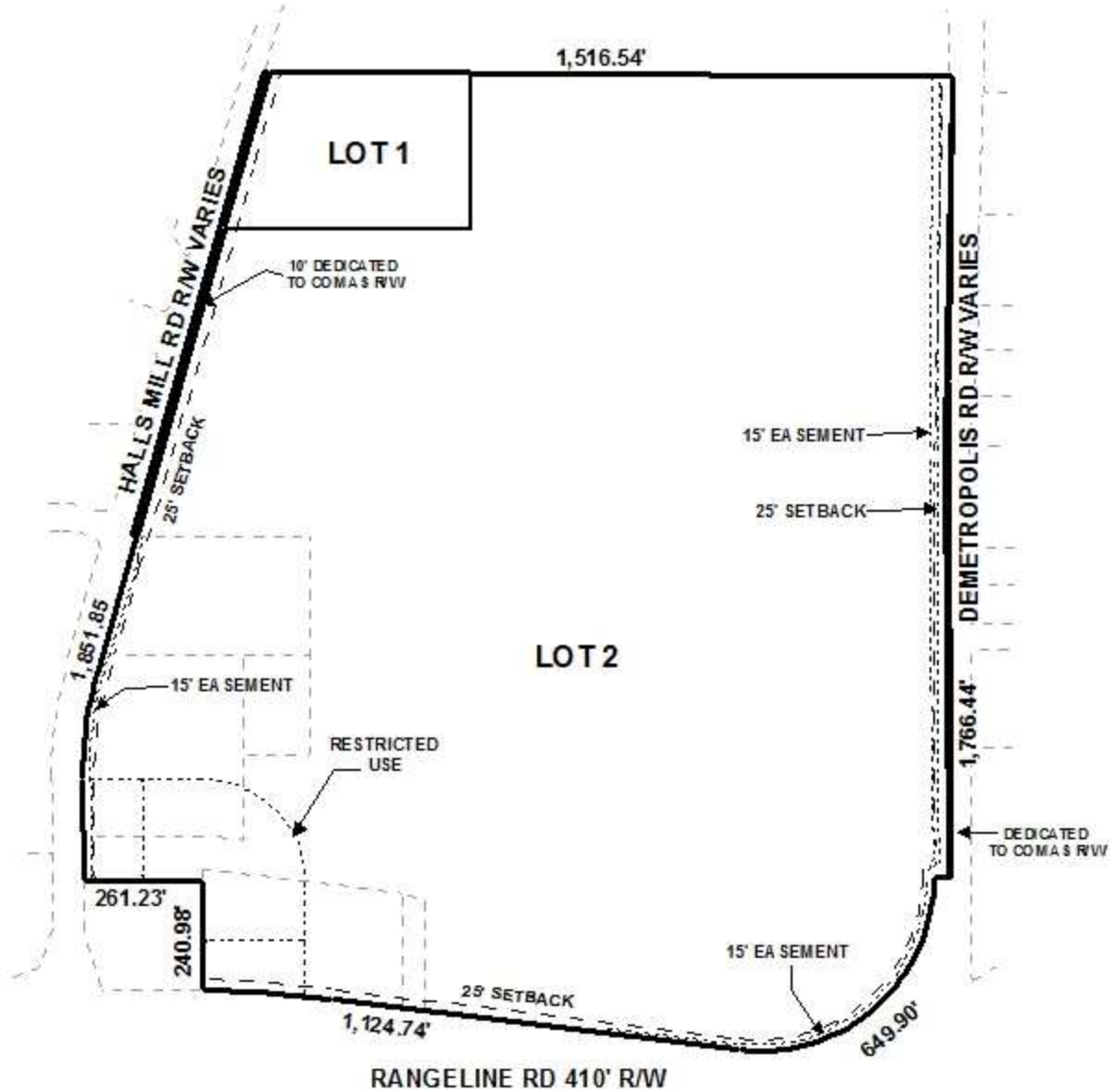
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APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planning Approval, Sidewalk Waiver



SITE PLAN



The site plan illustrates the proposed lots, setbacks, and easements.

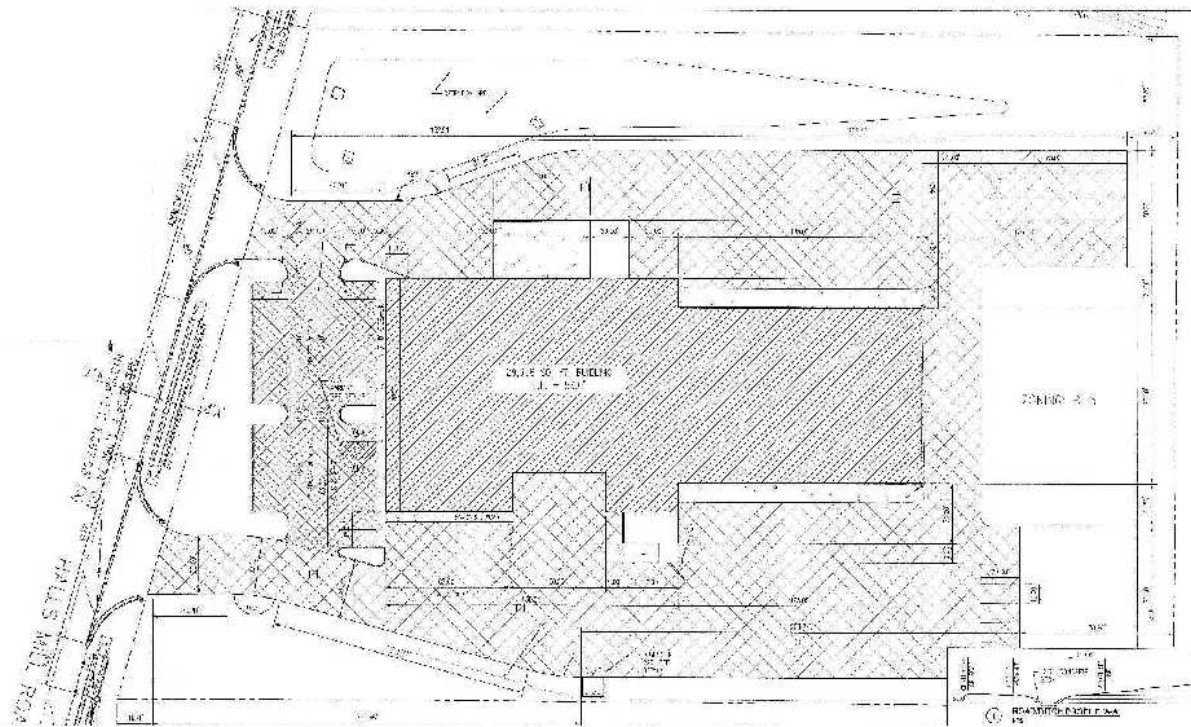
APPLICATION NUMBER 17 DATE November 6, 2014

APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planning Approval, Sidewalk Waiver



DETAIL SITE PLAN



APPLICATION NUMBER 17 DATE November 6, 2014

APPLICANT Rangeline Crossing Subdivision

REQUEST Subdivision, Planning Approval, Sidewalk Waiver



NTS