

PAYNE ADDITION TO BELLINGRATH SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed two-lot, 3.0± acre subdivision, which is located at 8701 Bellingrath Road, on the East side of Bellingrath Road, 6/10 mile± North of Laurendine Road. The site is served by public water and individual septic systems.

The purpose of the application is to create two lots of record from a metes and bounds parcel. (The parcel is in the County and was established in 1981.)

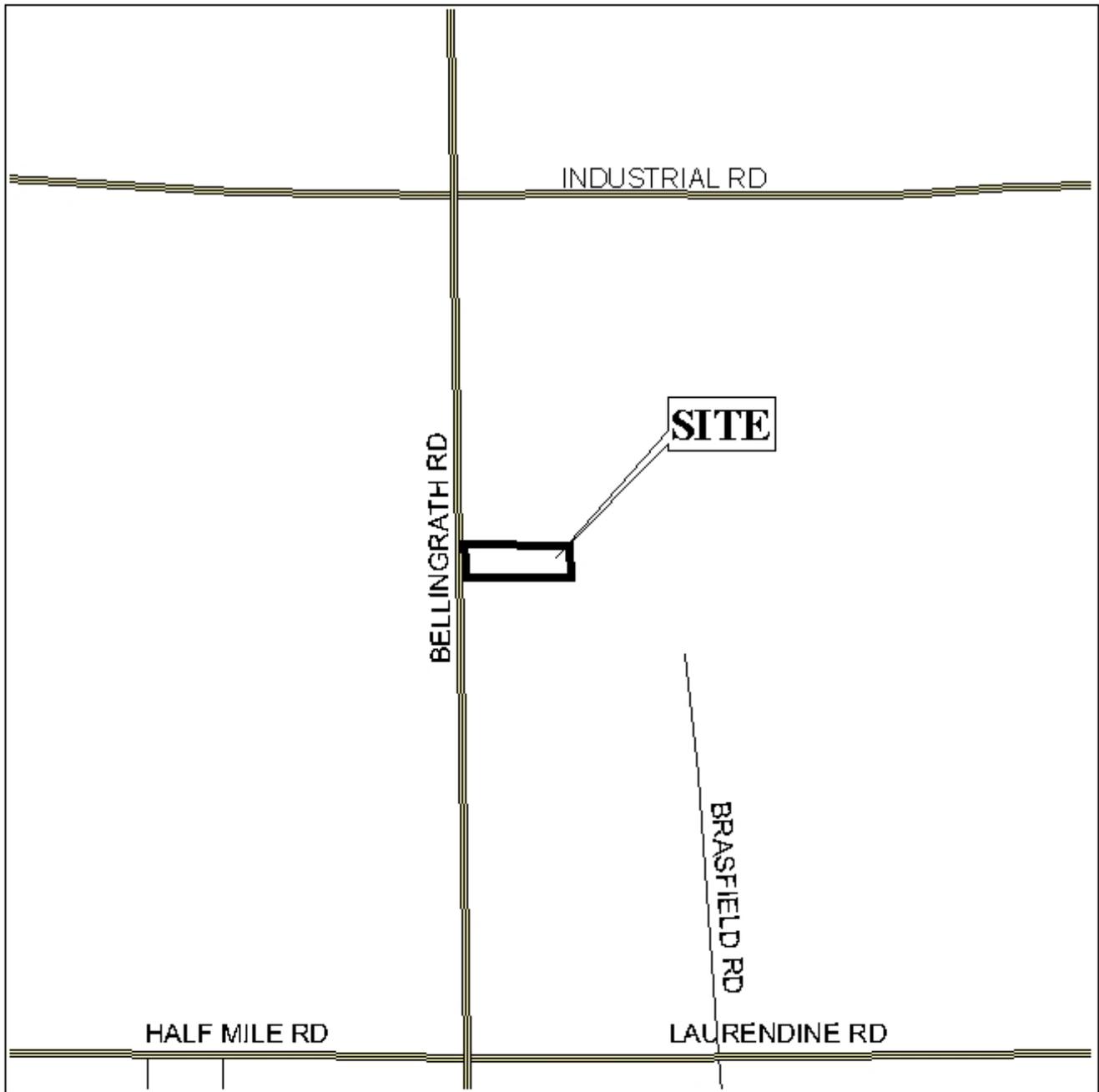
The site fronts Bellingrath Road, a planned major street with a right-of-way of 60 feet. As the major street requires a 100-foot right-of-way, an additional setback should be required as shown on the plat. The plat also illustrates the required 25-foot setbacks.

The plat illustrates proposed Lot 2 as a flag-shaped lot; the site is presently developed with two steel fabrication shops, one on each proposed lot. There are six flag lots in the vicinity of the site, so this configuration, while not desirable, is not necessarily out of character with the surrounding development. However, there should be no future resubdivision of the property. The plat illustrates a 40-foot driveway easement to be used by both lots; as a means of access management, the entire site should be limited to a single curb cut.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the depiction of the 45-foot setbacks as shown on the plat; 2) the placement of a note on the final plat stating that there will be no future resubdivision of the property; 3) the placement of a note on the final plat stating that the site is limited to a single shared curb cut; and 4) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

LOCATOR MAP



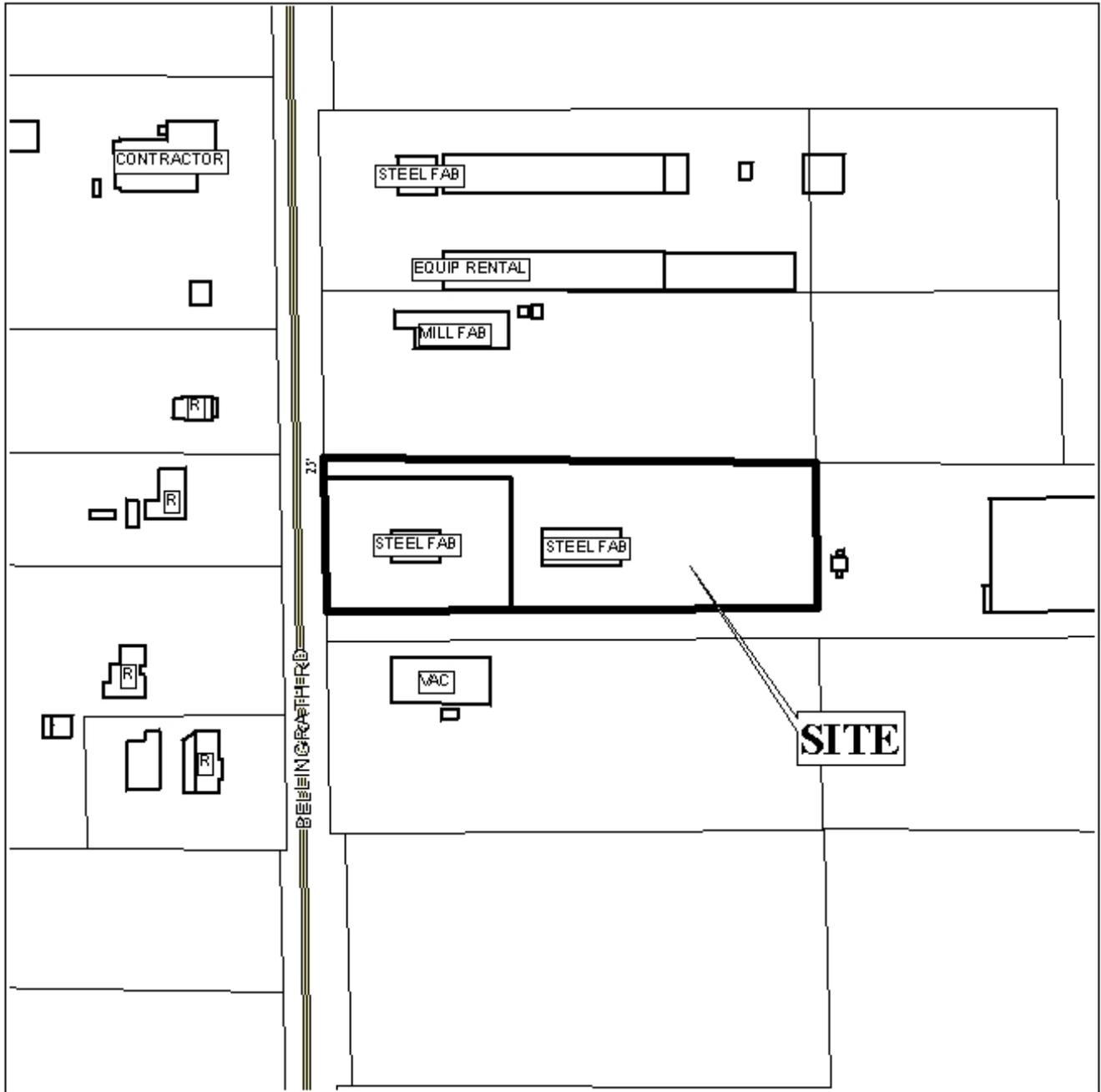
APPLICATION NUMBER 17 DATE May 4, 2006

APPLICANT Payne Addition to Bellingrath Subdivision

REQUEST Subdivision



PAYNE ADDITION TO BELLINGRATH SUBDIVISION



APPLICATION NUMBER 17 DATE May 4, 2006

- LEGEND
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| R-1 | R-2 | R-3 | R-A | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



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