

## **KRONERS BUSINESS PARK SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has **No** water or sewer services available. Sanitary sewer could be made available with a 272 foot extension.

The preliminary plat illustrates the proposed 1-lot, 2.3 ± acre subdivision which is located on the West side of McDonald Road, 270' ± South of Three Notch Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and a private septic system.

The purpose of this application is to create one legal lot of record by subdividing a portion of a 75 ± acre metes and bounds parcel. The overall site appeared before the Planning Commission in 2011 as a 15-lot subdivision; however, the approval granted by the Planning Commission has expired.

In accordance with the Subdivision Regulations, the 25-foot minimum building setback line and the lot size in square feet are illustrated on the preliminary plat and should be retained on the Final Plat, if approved.

The proposed lot fronts McDonald Road, a future major street as defined by the Major Street Plan. The preliminary plat illustrates an existing 60' right-of-way; however, in compliance with Section V.B.14 of the Subdivision Regulations, the minimum right-of-way should be depicted as 100'. Even though the applicant is proposing a dedication of 10' as illustrated on the preliminary plat, additional dedication is needed to provide 50' as measured from centerline. The 25' minimum building setback line and lot size information should be revised on the Final Plat to reflect the additional dedication, if approved.

As a means of access management, a note should be placed on the Final Plat limiting the proposed lot to two curb-cuts with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards.

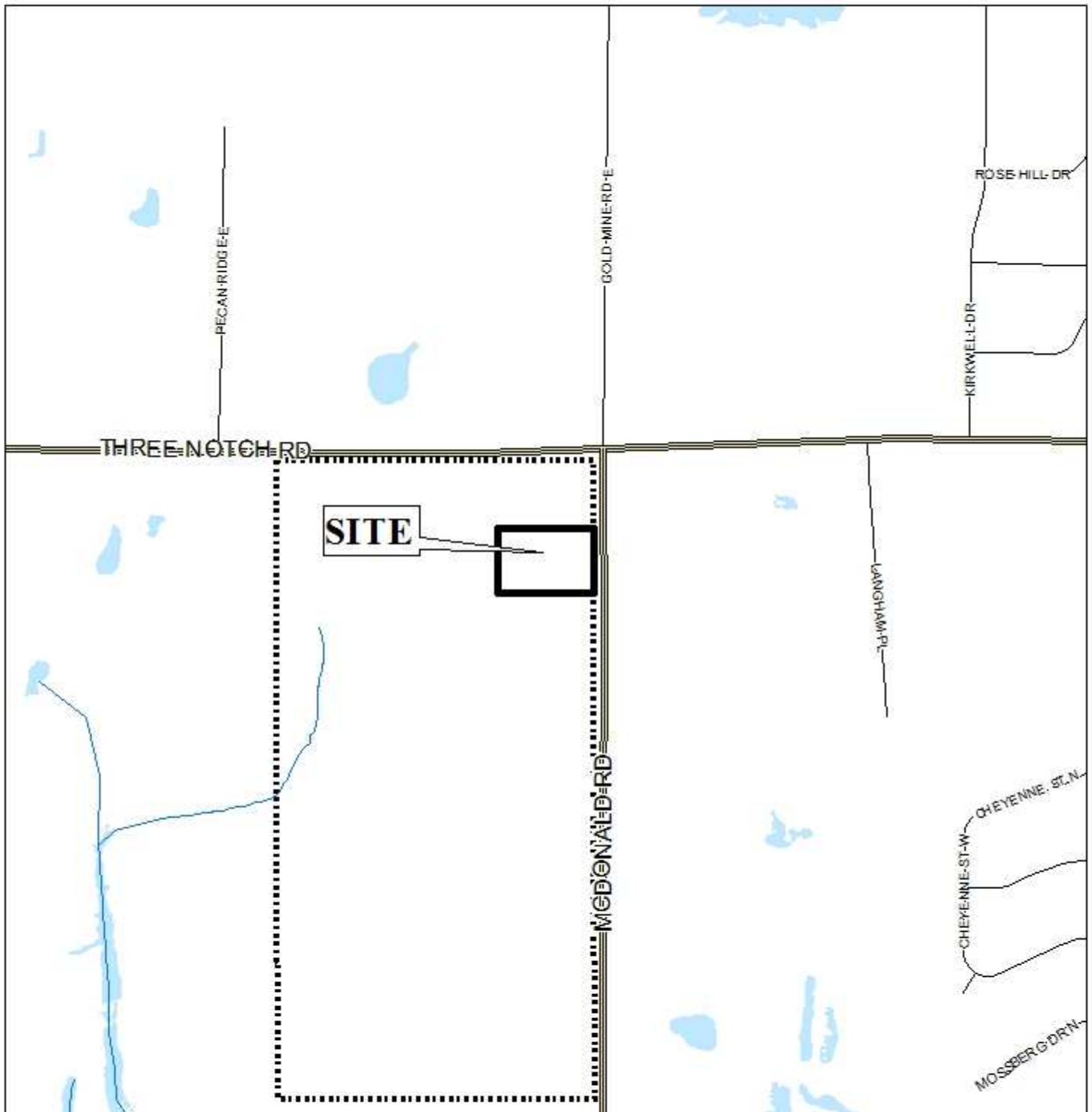
This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note should appear on the Final Plat to reflect this requirement.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication sufficient to provide 50' from the centerline of McDonald Road, a proposed major street;
- 2) Revision of the 25-foot minimum building setback line and lot size information on the Final Plat to reflect dedication;
- 3) Placement of a note on the Final Plat limiting the proposed lot to two curb-cuts with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 4) Placement of a note on the Final Plat stating: *(Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.);*
- 5) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 6) Compliance with Fire Comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);* and
- 7) Compliance with Engineering Comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.)*

# LOCATOR MAP



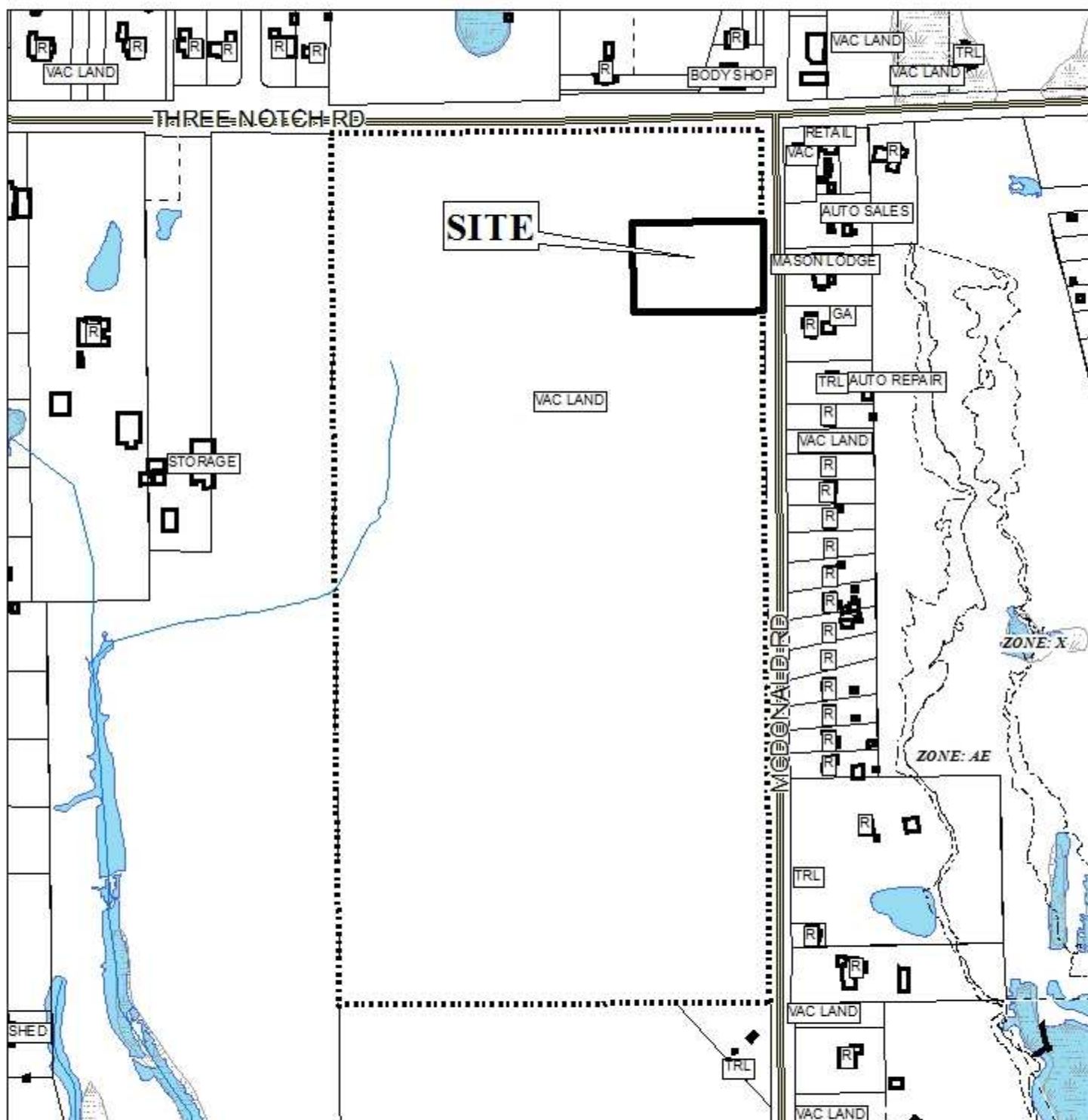
APPLICATION NUMBER 17 DATE October 3, 2013

APPLICANT Kroners Business Park

REQUEST Subdivision



# KRONERS BUSINESS PARK SUBDIVISION



APPLICATION NUMBER 17 DATE October 3, 2013





# KRONERS BUSINESS PARK SUBDIVISION



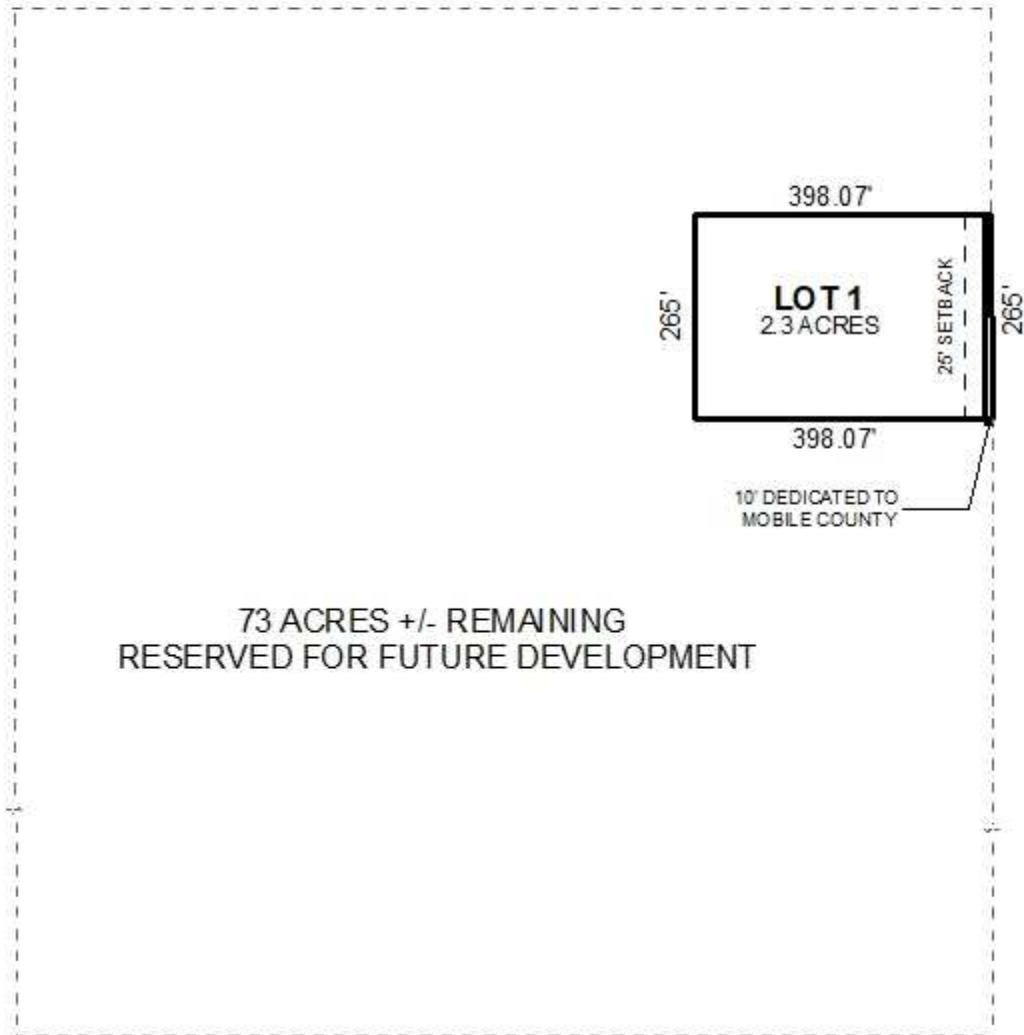
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LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



# SITE PLAN



The site plan illustrates the proposed subdivision, setback, and the future development area.

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

