

JOHNSON ROAD ESTATES SUBDIVISION,
RESUBDIVISION OF LOTS 7 & 8

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: No comments.

The plat illustrates the proposed 2 lot, 6.0 ± acre subdivision which is located at 10310 Johnson Road South (North side of Johnson Road South, 350'± West of Plantation Drive West). The applicant states that the subdivision is served by public water and sanitary sewer.

The purpose of this application is to move the lot line between two existing legal lots of record to the southeast of the current lot line.

The site fronts Johnson Road, a minor street, not provided with curb and gutter. The plat depicts an adequate 80-foot right-of-way for Johnson Road, therefore, no dedication should be required.

The site currently has one curb cut to Johnson Road. A note should be placed on the final plat limiting each lot to one curb cut to Johnson Road, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering.

The proposed lots meet the minimum size requirements, maximum depth regulation, and minimum frontage as required by the Subdivision Regulations. The proposed lot size is indicated (in square feet) on the plat and should be retained on the final plat, if approved.

A 100-foot minimum building setback line is shown on the plat. This is in excess of the subdivision regulation minimum building setback of 25 feet. A setback line of at least 25 feet should be retained on the final plat, if approved.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the

storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

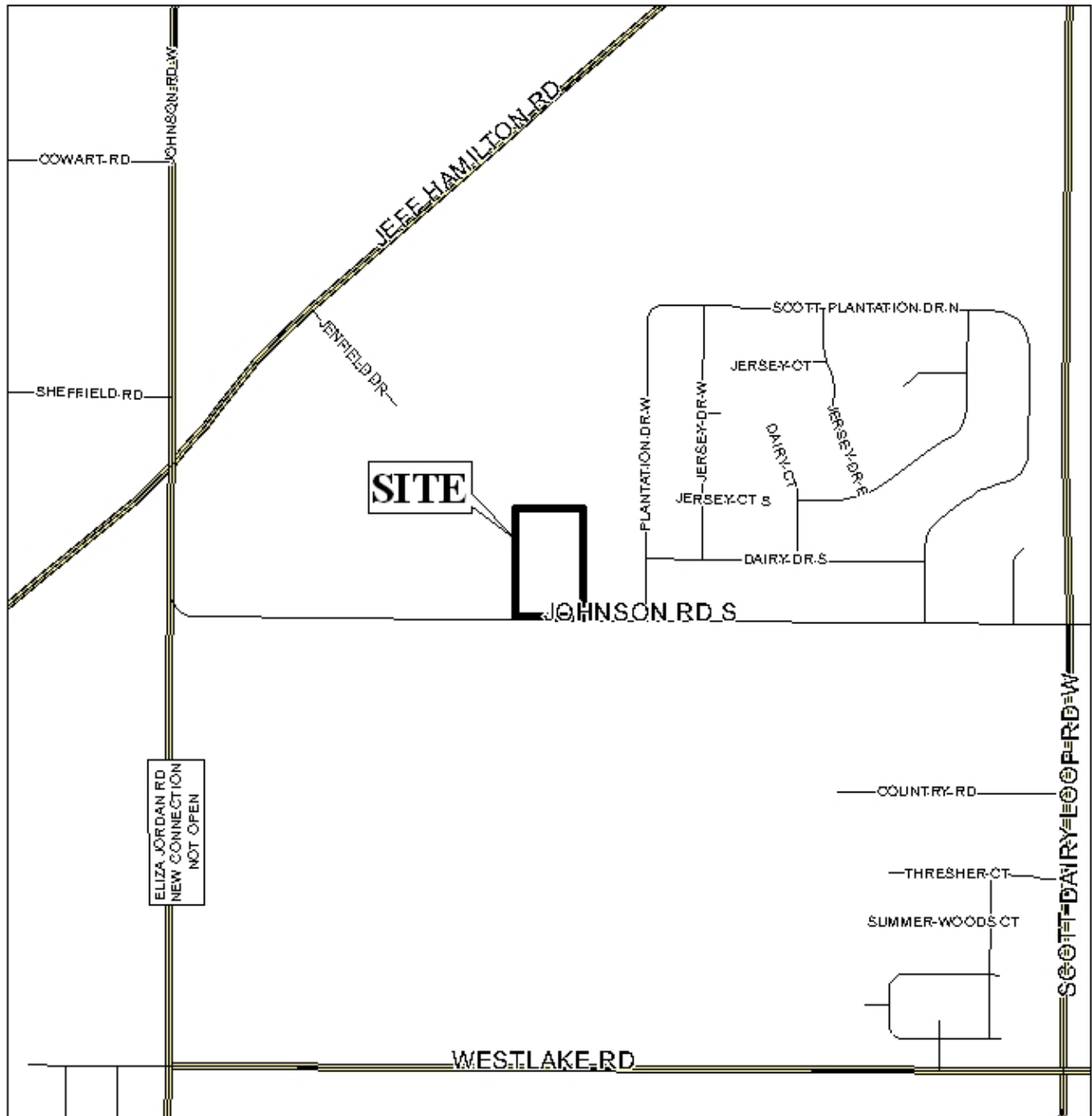
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

Based on the preceding, this application is recommended for approval, subject to the following conditions:

- 1) Retention of at least a 25 foot minimum building line on the final plat;
- 2) Retention of the lot size labeling (in square feet) on the final plat;
- 3) Placement of a note on the final plat limiting each lot to one curb cut to Johnson Road, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering;
- 4) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 5) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 6) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

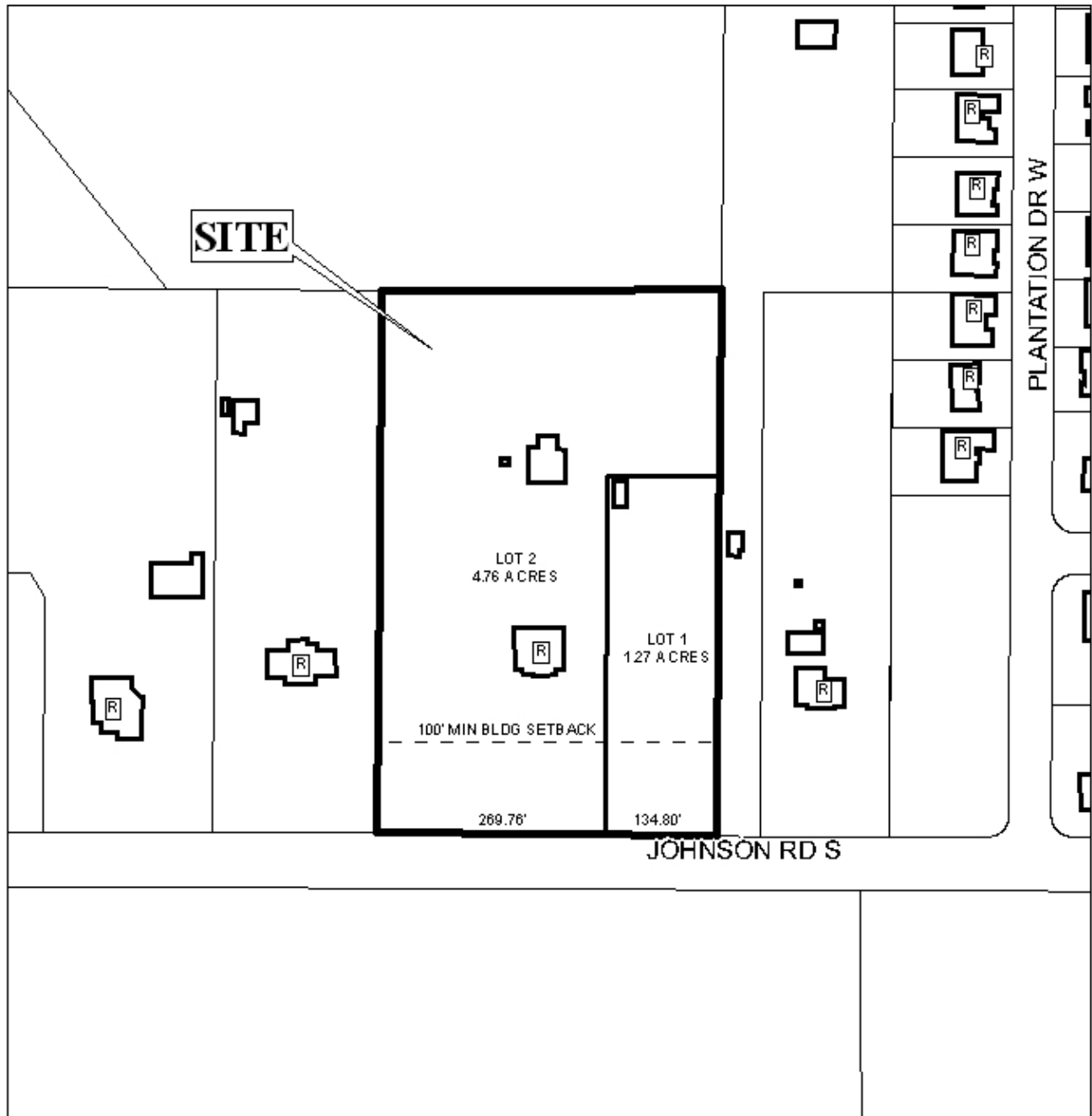
LOCATOR MAP



APPLICATION NUMBER 17 DATE April 2, 2009
APPLICANT Johnson Road Estates Subdivision, Resubdivision of Lots 7 & 8
REQUEST Subdivision

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NTS

JOHNSON ROAD ESTATES SUBDIVISION, RESUBDIVISION OF LOTS 7 & 8



APPLICATION NUMBER 17 DATE April 2, 2009

LEGEND

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| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
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RESUBDIVISION OF LOTS 7 & 8**



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