

IAIN FROST SUBDIVISION, RESUBDIVISION OF

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No Comments

The plat illustrates the proposed 4-lot, 5.4 ± acre subdivision which is located on the East side of Dykes Road South, 150'± South of Turmac Road, and is located within the planning jurisdiction. The applicant states that the subdivision is served by city water and sanitary sewer.

The purpose of this application is to create four legal lots of record from four legal lots of record. The site was approved at the Planning Commission's August 2, 2012 meeting for a 4-lot subdivision. The applicant is now requesting to reduce the depth of Lots 1 through 3 and increase the square footage of Lot 4.

The applicant proposes that Lot 4 be a "flag" lot, with two proposed 45'± wide by 125'± long poles connecting the lot to Dykes Road South. The Planning Commission's previous approval in 2012 included this same double pole feature. Because of the previous approval, a waiver of V.D.1 may be appropriate.

It should be noted that while the proposed Lot 4 is not located in a flood zone as depicted on FEMA Flood Insurance Rate Maps, it does contain a portion of a small lake. The presence of this lake would indicate that the area may be environmentally sensitive; therefore, if approved, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

It should also be noted that the proposed Lot 4 exceeds the 3.5 width to depth ratio recommended in Section V.D.3 of the Subdivision Regulations. As the plat was previously approved, a waiver of V.D.3 may again be appropriate.

The lot sizes are labeled on the preliminary plat; therefore, this information should be retained in square feet and acres, on the Final Plat, if approved.

The 25-foot minimum building setback is shown and labeled on the preliminary plat; however, the setback line for Lot 4 should be revised to illustrate it from where the poles meet the “flag”. If approved the minimum building setback should be illustrated on the Final Plat.

If approved, a note should be placed on the Final Plat limiting lots 1-3 to one curb cut and lot 4 to two curb cuts to Dykes Road South with the size, design, and location of all curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

As lot A is a flag lot, no future subdivision should be allowed until adequate frontage is provided.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”* should be placed on the Final Plat.

Based upon the preceding, the application is recommended for tentative approval with a wavier of Sections V.D.1 and V.D.3 of the subdivision regulations, subject to the following conditions:

- 1) depiction of minimum building setbacks where all lots are at least 60’ in width on final plat;
- 2) placement of a note on the Final Plat stating that Lots 1 – 3 are limited to one curb-cut each, that Lot 4 is limited to two curb-cuts, and that the size, design, and location of all curb-cuts are to be approved by Mobile County Engineering and to comply with AASHTO standards;
- 3) placement of a note on the Final Plat stating that there shall be no future subdivision of Lot 4;
- 4) compliance with the Fire Department comments: *“All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.”*
- 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;

- 6) placement of a note on the Final Plat stating that new development of the site must be undertaken in compliance with all local, state, and federal regulations regarding endangered, threatened, or otherwise protected species;
- 7) placement of a note on the Final Plat stating that new development of the site must be undertaken in compliance with all local, state, and federal regulations regarding wetlands; and,
- 8) placement of a note on the Final Plat stating that new development must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the stormwater detention and drainage facility requirements of the City of Mobile Stormwater and Flood Control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facility requirements of the City of Mobile Stormwater and Flood Control ordinances prior to the issuance of any permits.

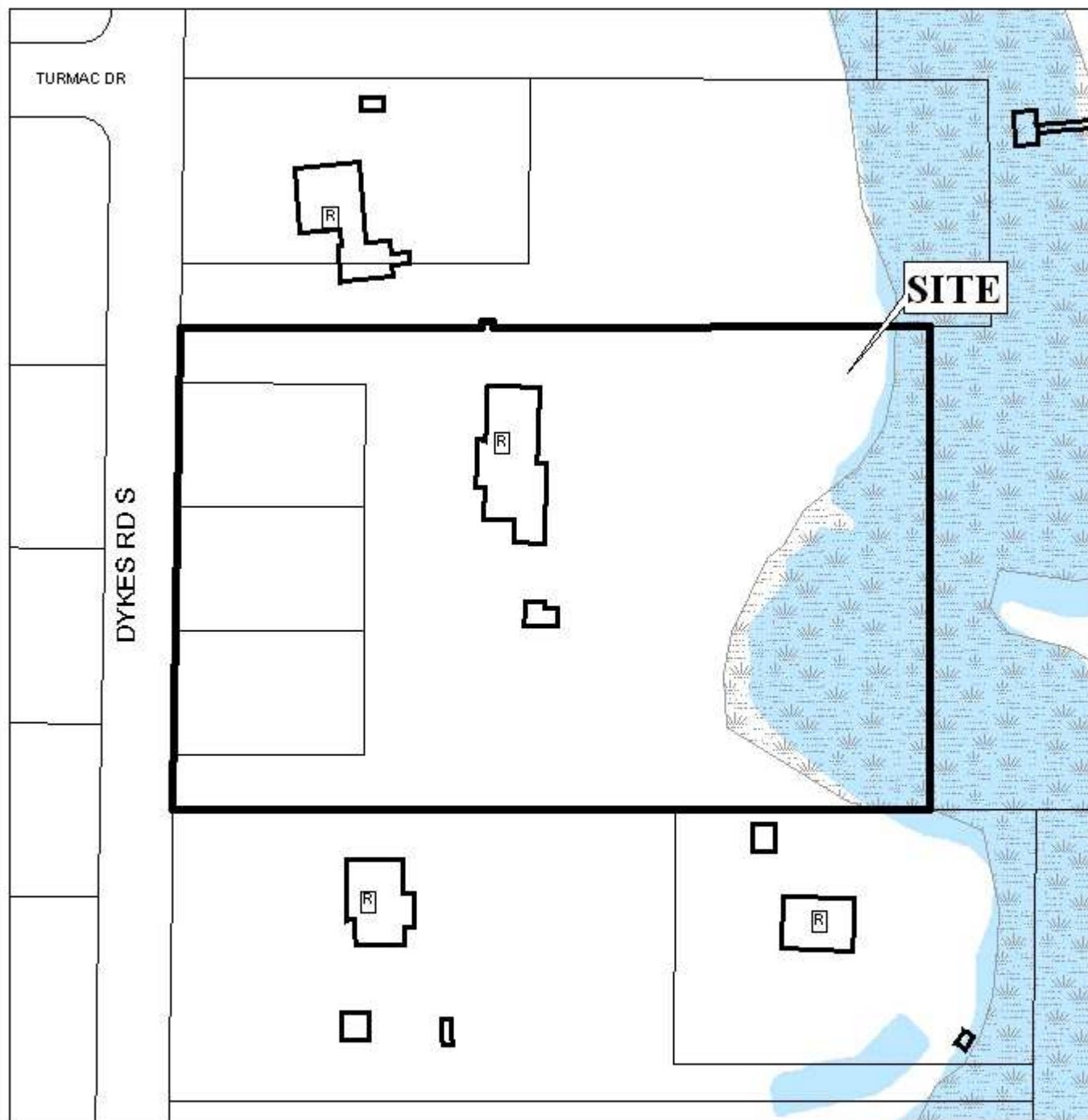
LOCATOR MAP



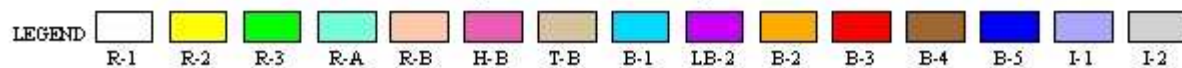
APPLICATION NUMBER 17 DATE July 11, 2013
APPLICANT Iain Frost Subdivision, Revised
REQUEST Subdivision

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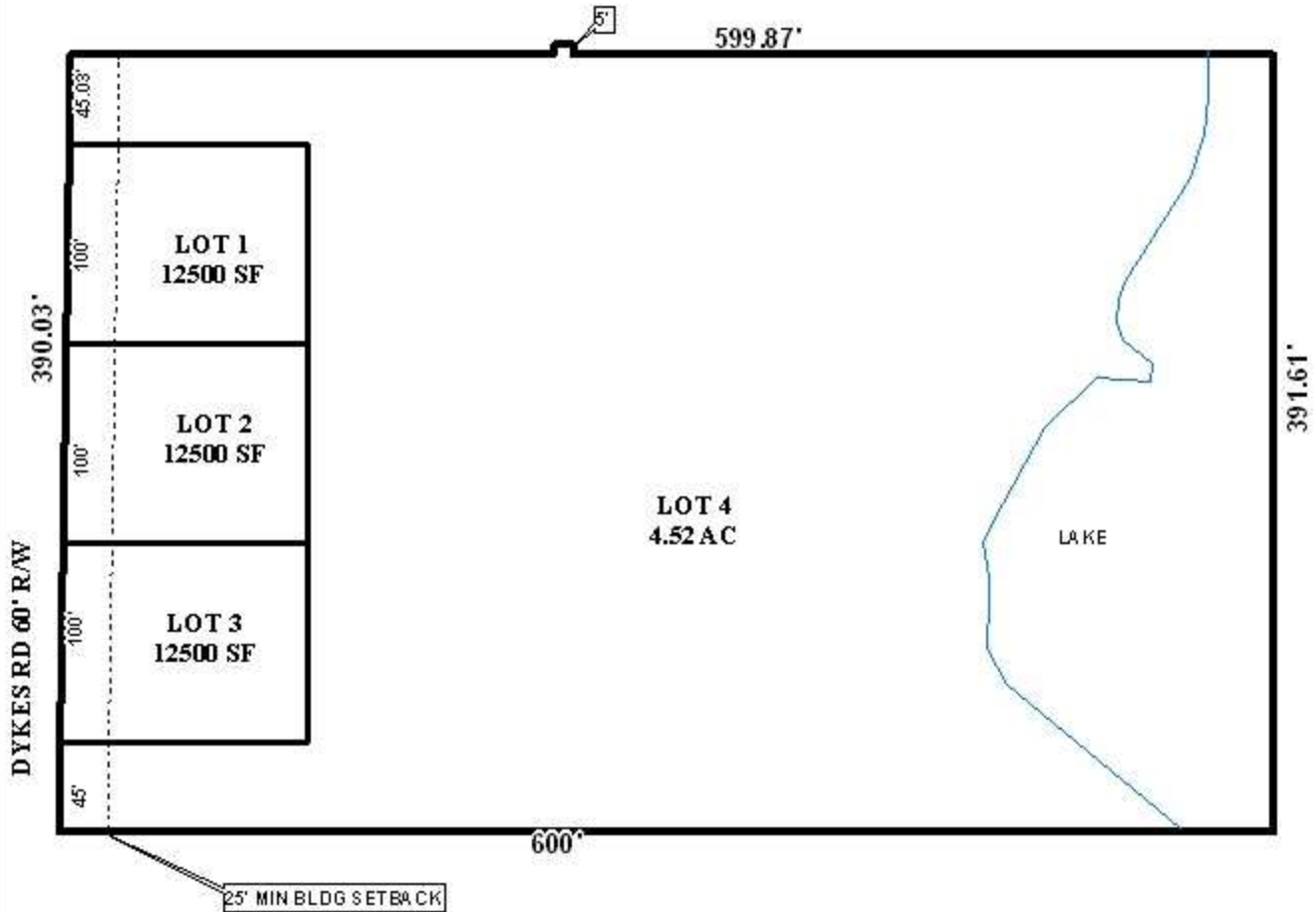


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DETAIL SITE PLAN



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APPLICANT Iain Frost Subdivision
REQUEST Subdivision

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