

## **HOPKINTON ESTATES SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: Water and sewer services are available, but Capacity Assurance application for sewer service has not been applied for. MAWWS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering. Water and sewer services would have to be extended to the development.

The plat illustrates the proposed 503 lot, 226.0 ± acre subdivision which is located on the West terminus of Redstone Drive South, extending to the East terminus of Roberts Lane East. The applicant states that the subdivision is served by public water and sanitary sewer systems provided by South Alabama Utilities.

The purpose of this application is to subdivide two metes and bounds parcels into 503 lots. It appears that one of the parcels, R022407260000094., has had multiple child parcels sold off since the late 1980s, without going through the subdivision process. The applicant should either provide evidence of these parcels being created prior to July 1984, or include them as part of the application or provide justification supporting their exclusion from the application.

The applicant proposes to create 503 lots, of which approximately 193 lots will “typically” be approximately 6,300 square feet in size, which is less than the 7,200 square feet required by Section V.D.3. of the Subdivision Regulations. The plat appears to depict lots as small as 5,850 square feet. No justification has been provided for the reduced lot sizes.

The plat also shows areas of “green space” and then other areas with no indication of use, including a corridor that implies a utility easement. No area calculations have been provided regarding “green space” or other space set aside for common areas.

The site is bisected by two proposed major streets, Wulff Road Extension and Magee Road. Each proposed major street should have a minimum right-of-way of 100 feet, however there is no indication of the proposed subdivision accommodating the proposed major streets.

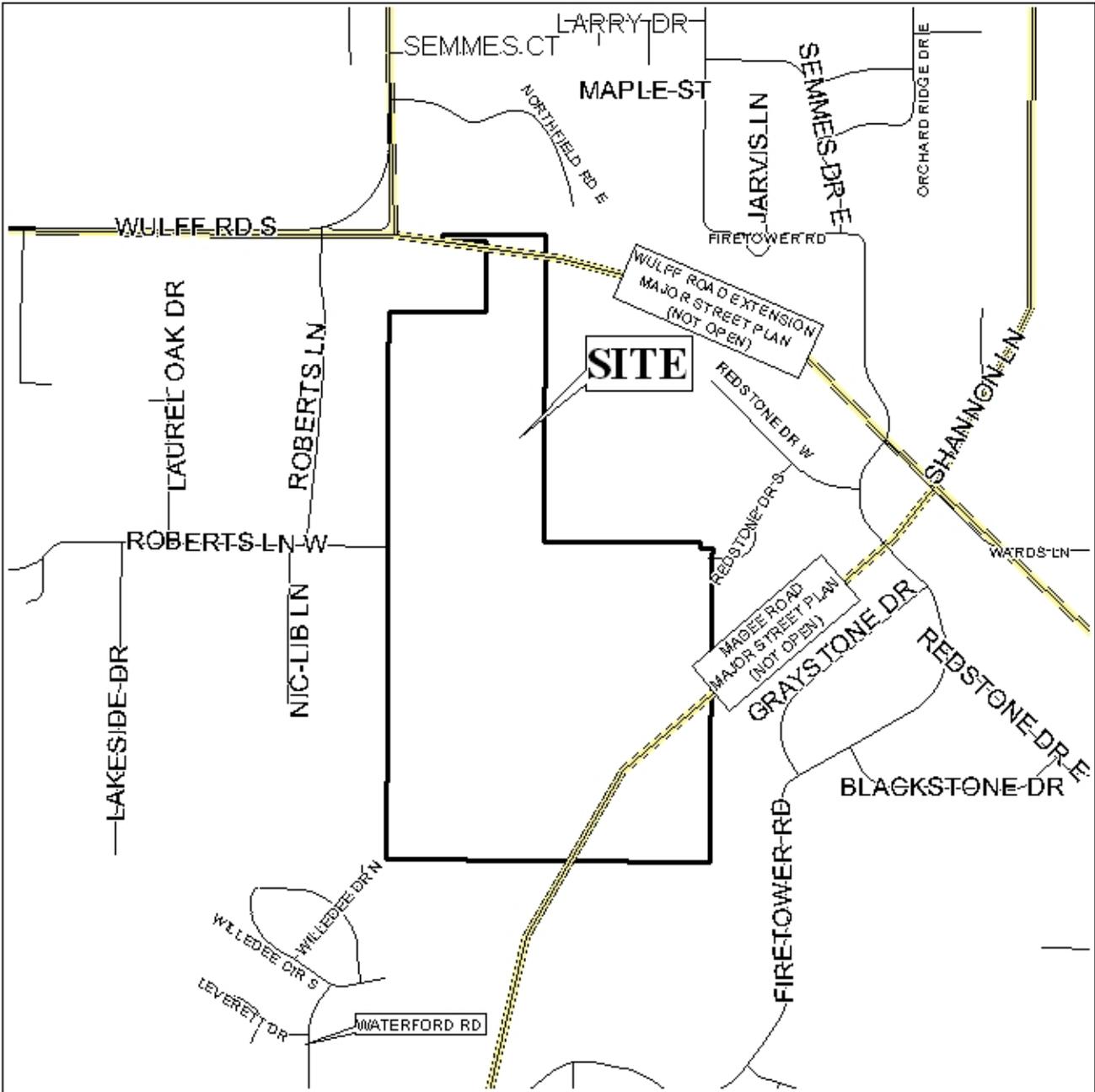
The proposed 503 lot subdivision will only have connections to two existing minor streets, although the connection to the existing Robert’s Lane is drawn in the wrong location. Three to four other street-stubs are depicted on the plat, however, they would connect to undeveloped land.

The site is bisected by a branch of Hamilton Creek, thus wetlands may be present on the site. The potential presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities

Because of the above issues, it appears that the application is not complete. Therefore this application is recommended for Denial for the following reasons:

- 1) The plat does not include the entirety of parent and child parcels for parcel R022407260000094., and no evidence has been provided that the child parcels should not be included as part of the application;
- 2) Numerous lots will not meet the minimum size requirements of Section V.D.3. of the Subdivision Regulations, and no justification has been provided for the reduced lot sizes;
- 3) No calculations have been provided for “green space” and other unlabeled, undeveloped portions of the site; and
- 4) There are errors in the drawing.

# LOCATOR MAP



APPLICATION NUMBER 17 DATE September 20, 2007

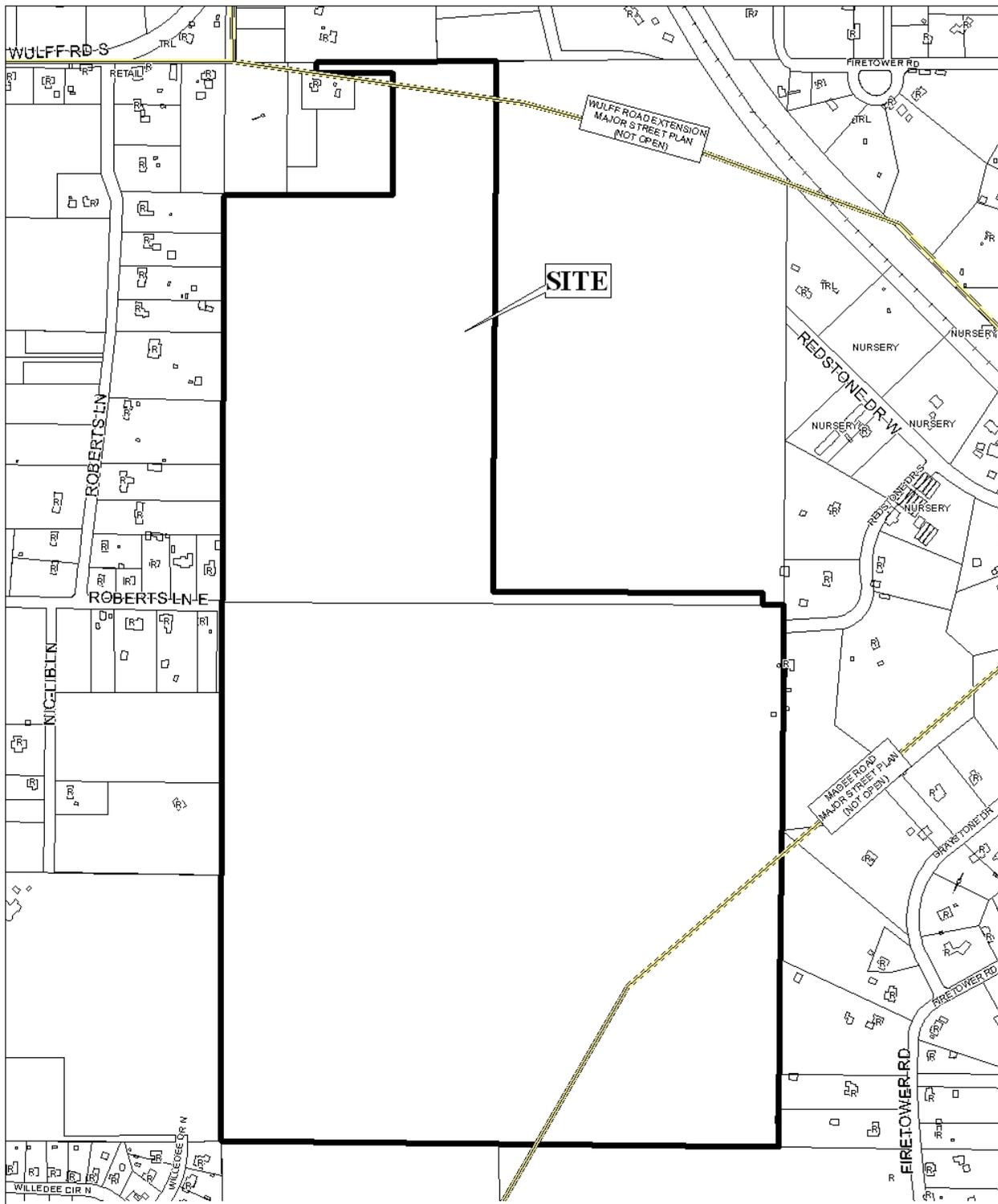
APPLICANT Hopkinton Estates Subdivision

REQUEST Subdivision



NTS

# HOPKINTON ESTATES SUBDIVISION



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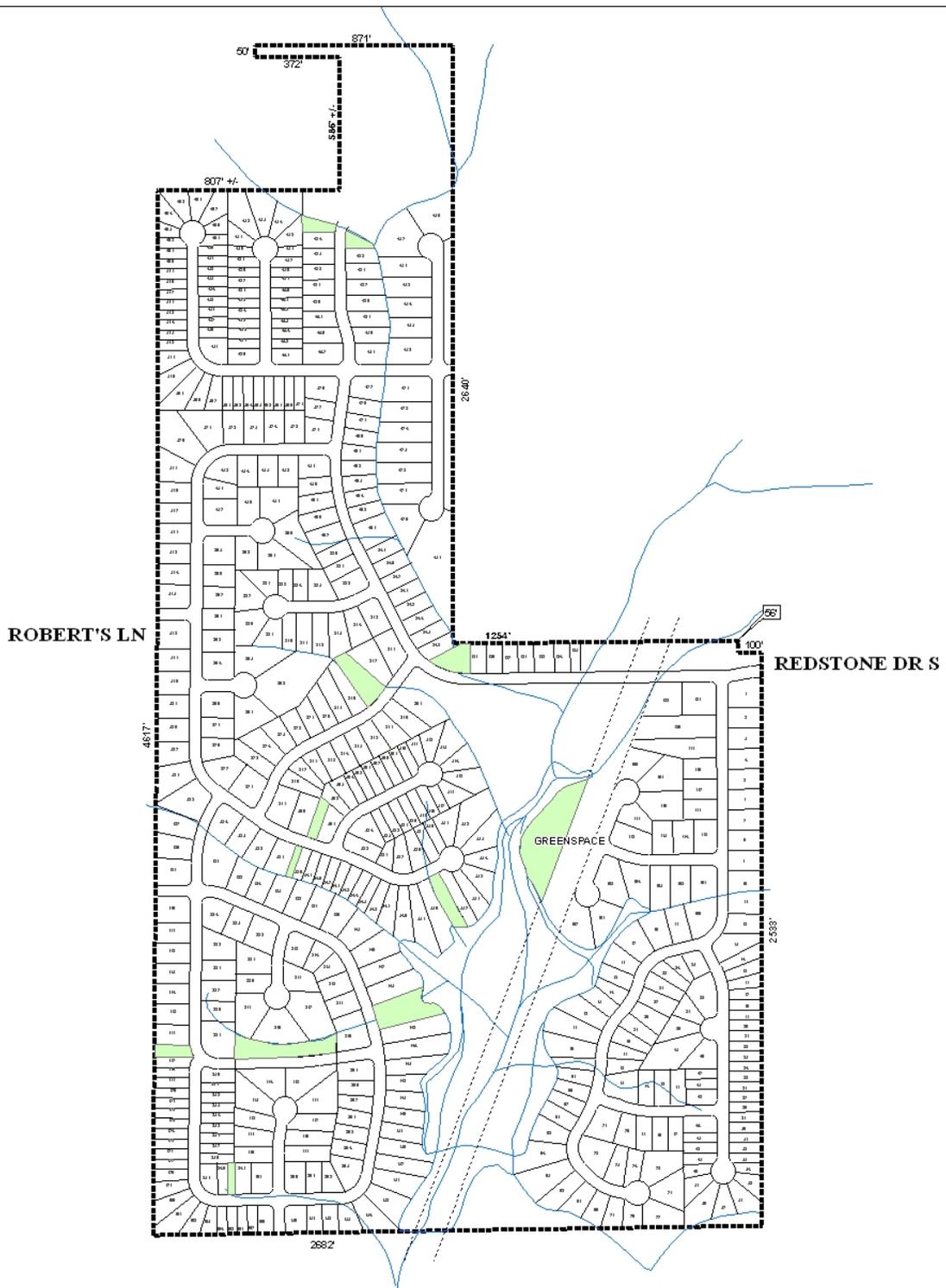
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



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# DETAIL SITE PLAN



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