

GIN COMPANY SUBDIVISION, PHASE TWO

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has no water or sewer services available.

The plat illustrates the proposed 3-lot, 71.0 ± acre subdivision which is located on the South side of Dawes Road, 3/10± mile West of McFarland Road, extending to the West side of McFarland Road, 1,000'± South of Dawes Road; and South side of Dawes Road, ½± mile West of McFarland Road, extending to the North side of Three Notch Road, ½± mile West of McFarland Road, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create three legal lots of record from two existing metes-and-bounds parcels.

The site has frontage on Dawes Road, Three Notch Road, and McFarland Road, all components of the Major Street Plan. Dawes Road and Three Notch Road have planned 100' rights-of-way, with a current 80' right-of-way each. The plat indicates 10' to be dedicated along Dawes Road to provide 50' from centerline, as would be required. No dedication is indicated along Three Notch Road; therefore, the plat should be revised to indicate dedication sufficient to provide 50' from the centerline of Three Notch Road. McFarland Road has a planned 120' right-of-way. The plat indicates dedication for right-of-way, but does not indicate where this is in relation to the centerline of McFarland Road. Therefore, the plat should either be revised to verify that the proposed dedication is sufficient to provide at least 60' from the centerline of McFarland Road or revised to provide at least 60' from the centerline.

No minimum building setback line is indicated along McFarland Road for Lot 1. Therefore, the plat should be revised to indicate the 25' minimum building setback line for Lot 1 as measured from the dedicated right-of-way along McFarland Road. The 25' minimum building setback line for Lot 2 should be illustrated as on the preliminary plat. For Lot 3, the 25' minimum building setback line should be revised to be measured from any required dedication.

As a means of access management, a note should be required on the Final Plat stating that the number, size, location and design of any curb cuts are to be approved by Mobile County Engineering and conform to AASHTO standards.

As on the preliminary plat, each lot should be labeled with its size in acres and square feet on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

As proposed, Lot 2 would be out of character with the general guidelines of Sections V.D.1. and V.D.3. of the Subdivision Regulations due to its irregular shape and width to depth ratio. However, since the shape of the existing parcel is dictated by the surrounding properties, a waiver of Sections V.D.1. and V.D.3. would seem in order.

This site is located in the County; therefore, a note should be required on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

While the site is in the County, it must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.

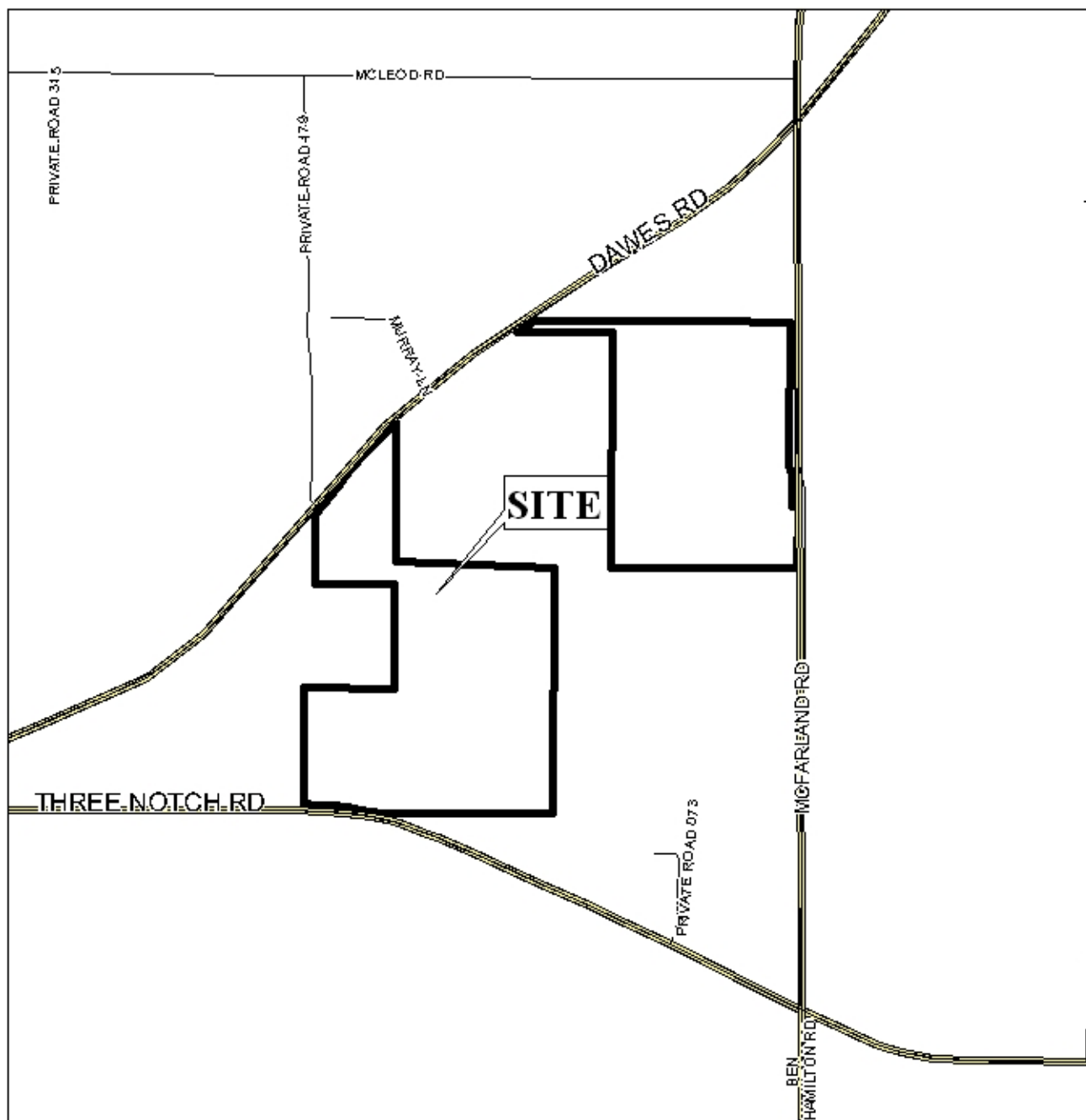
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

With waivers of Sections V.D.1. and V.D.3. of the Subdivision Regulations, this application is recommended for tentative approval, subject to the following conditions:

- 1) dedication of 10' along Dawes Road, as illustrated on the plat, to provide 50' from the centerline of Dawes Road;
- 2) revision of the plat illustrating dedication sufficient to provide 50' from the centerline of Three Notch Road;
- 3) revision of the plat to verify that the proposed dedication along McFarland Road is sufficient to provide at least 60' from the centerline of McFarland Road, or revision of the plat to provide at least 60' from the centerline of McFarland Road;
- 4) revision of the plat to indicate the 25' minimum building setback line for Lot 1 as measured from the new right-of-way along McFarland Road;
- 5) illustration of the 25' minimum building setback line for Lot 2 as on the preliminary plat;
- 6) revision of the plat to illustrate the 25' minimum building setback line for Lot 3 as measured from any required dedication along Three Notch Road;

- 7) placement of a note on the Final Plat stating that the number, size, location and design of all curb cuts for each lot are to be approved by Mobile County Engineering and conform to AASHTO standards;
- 8) labeling of each lot with its size in acres and square feet on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 9) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 10) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 11) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 12) compliance with the Fire Department comments *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.).*

LOCATOR MAP



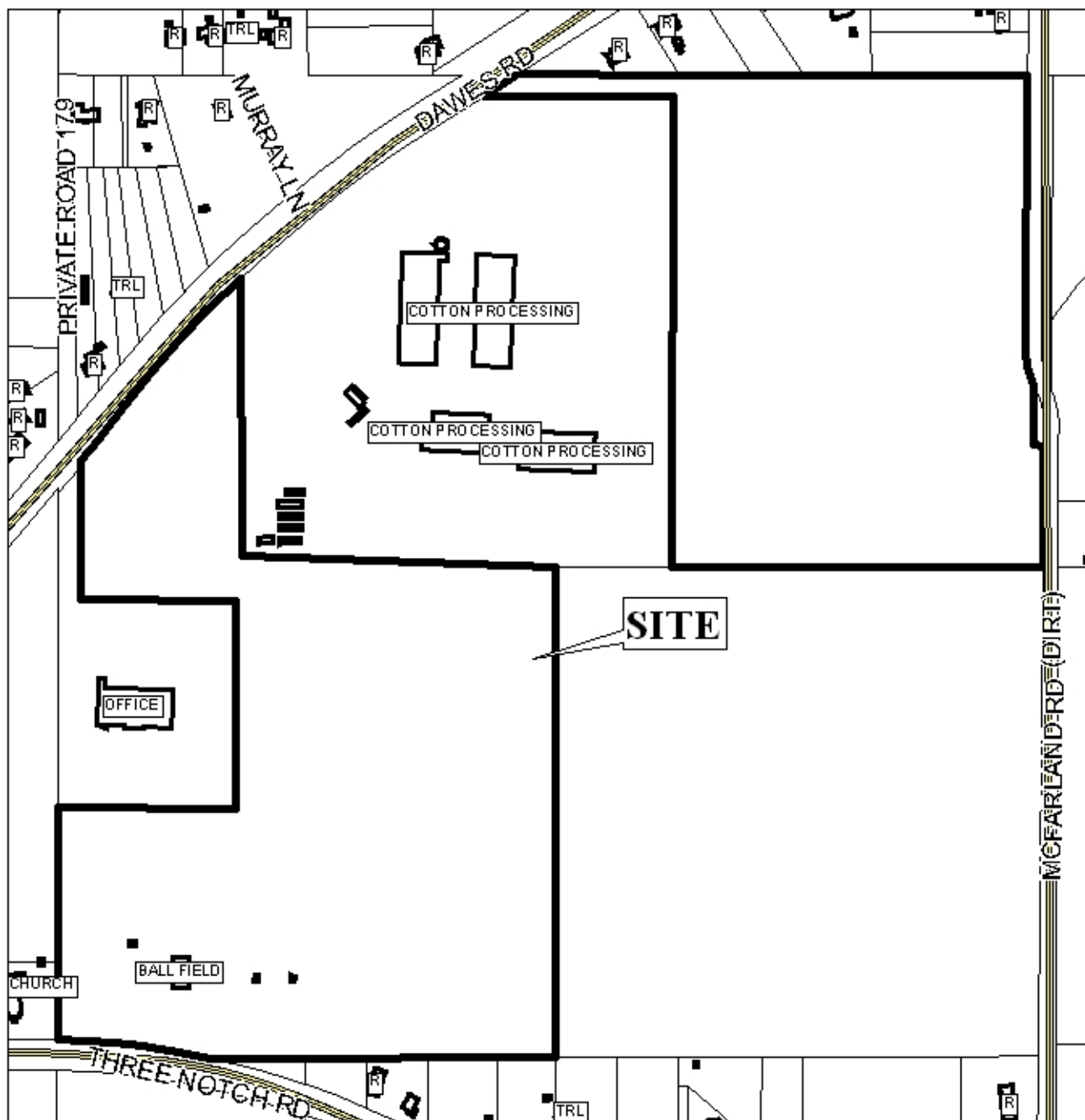
APPLICATION NUMBER 17 DATE December 6, 2012

APPLICANT Gin Company Subdivision, Phase Two

REQUEST Subdivision



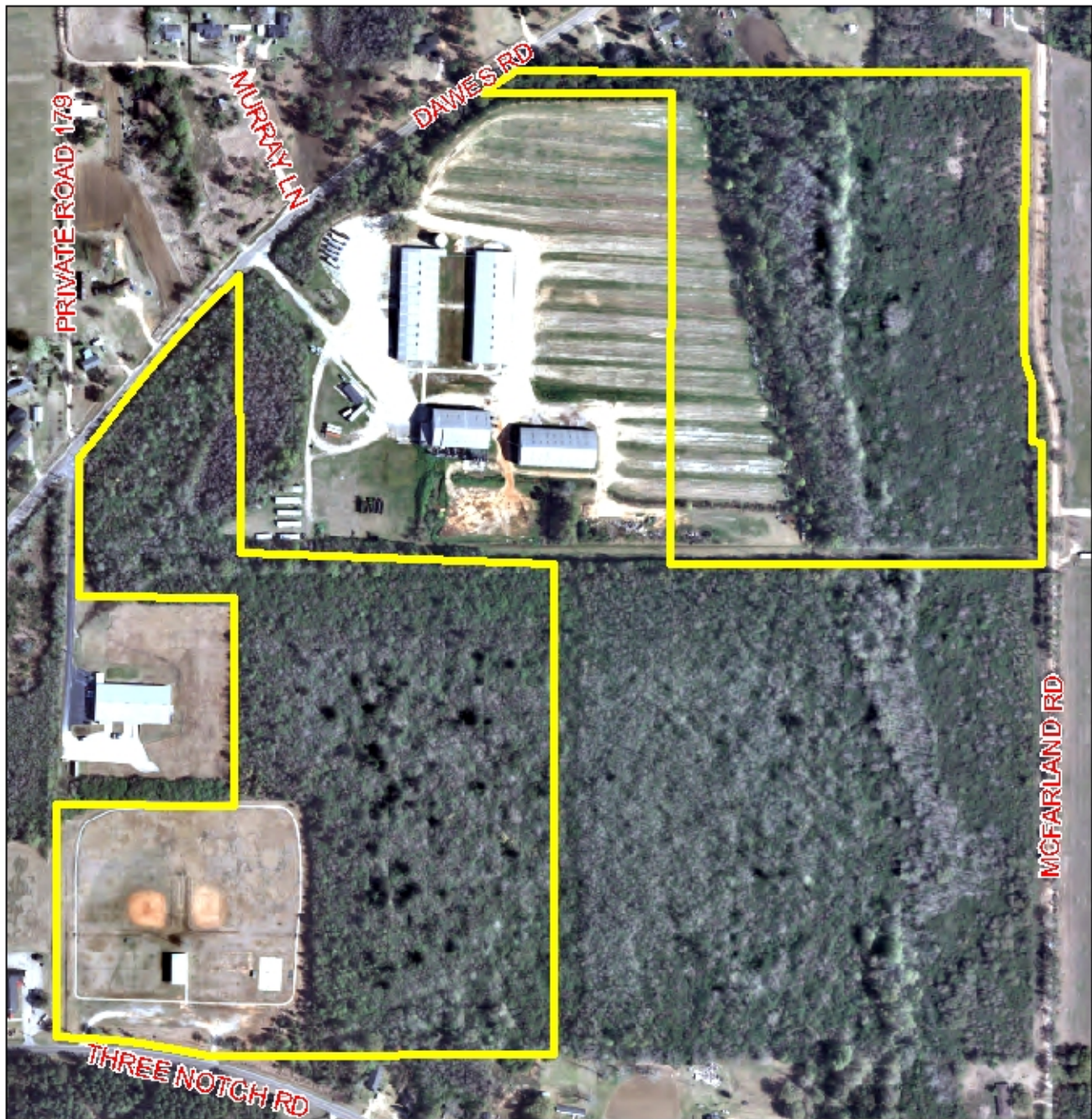
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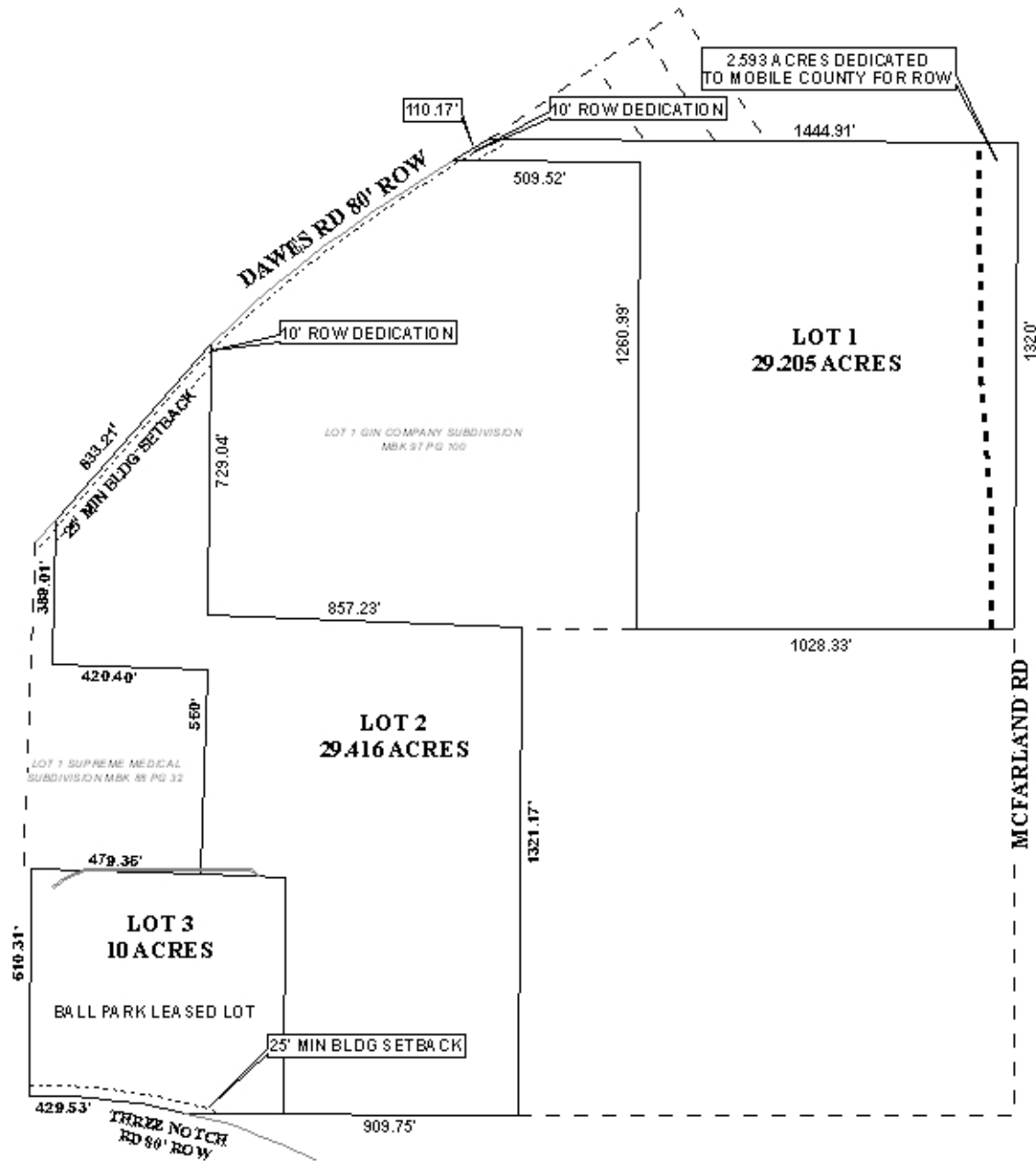
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DETAIL SITE PLAN



APPLICATION NUMBER 17 DATE December 6, 2012

APPLICANT Gin Company Subdivision, Phase Two

REQUEST Subdivision



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