

FRAZIER-SUFFICH SUBDIVISION

Engineering Comments: Add a signature block for the Traffic Engineer. Correct the flood zone note; and show and label the existing flood zones. Provide all other information required for a Final Plat review.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Existing two curb-cuts to Upham Street may remain.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.9± acre, 2-lot subdivision which is located on the West side of Upham Street, 415'± North of Old Shell Road extending to the East side of Frazier Court, and is in Council District 1. The applicant states that the subdivision is served by both public water and sanitary sewer.

The applicant had a similar application before the Planning Commission at its April 19, 2012 meeting which was approved. The primary difference between this preliminary plat and the previously approved plat is that the previous plat showed the relocation of a 7.5' drainage and utility easement throughout the proposed Lot A. The newly proposed plat makes no mention of the 7.5' drainage and utility easement at all. Also, the previous approval limited Lot B to one curb cut to Upham Street, and Traffic Engineering is recommending they be allowed to retain the two existing curb cuts to Upham Street.

It should be noted that a drainage and utility easement vacation cannot simply be removed by the recording of a subdivision, but must go through the City Clerk's office and obtain approval from various departments first.

The purpose of this application is to create two legal lots of record from three legal lots of record. The lot sizes are labeled, and the proposed lots would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot sizes should be retained in square feet and acres on the Final Plat, if approved.

The 25-foot minimum building setback line, required in Section V.D.9., is illustrated and labeled along all rights-of-way on the preliminary plat, and should be retained on the Final Plat, if approved.

The site fronts Upham Street, a minor street with curb and gutter, with a right-of-way width that varies. According to Section V.B.14. of the Subdivision Regulations, streets with curb and gutter should have a right-of-way width of 50 feet. The site plan depicts a dedication resulting in a compliant 25 feet from the centerline of Upham Street resulting in a compliant right-of-way. The site also fronts Frazer Court, a closed-end street with a compliant right-of-way of 50 feet, making no dedications necessary.

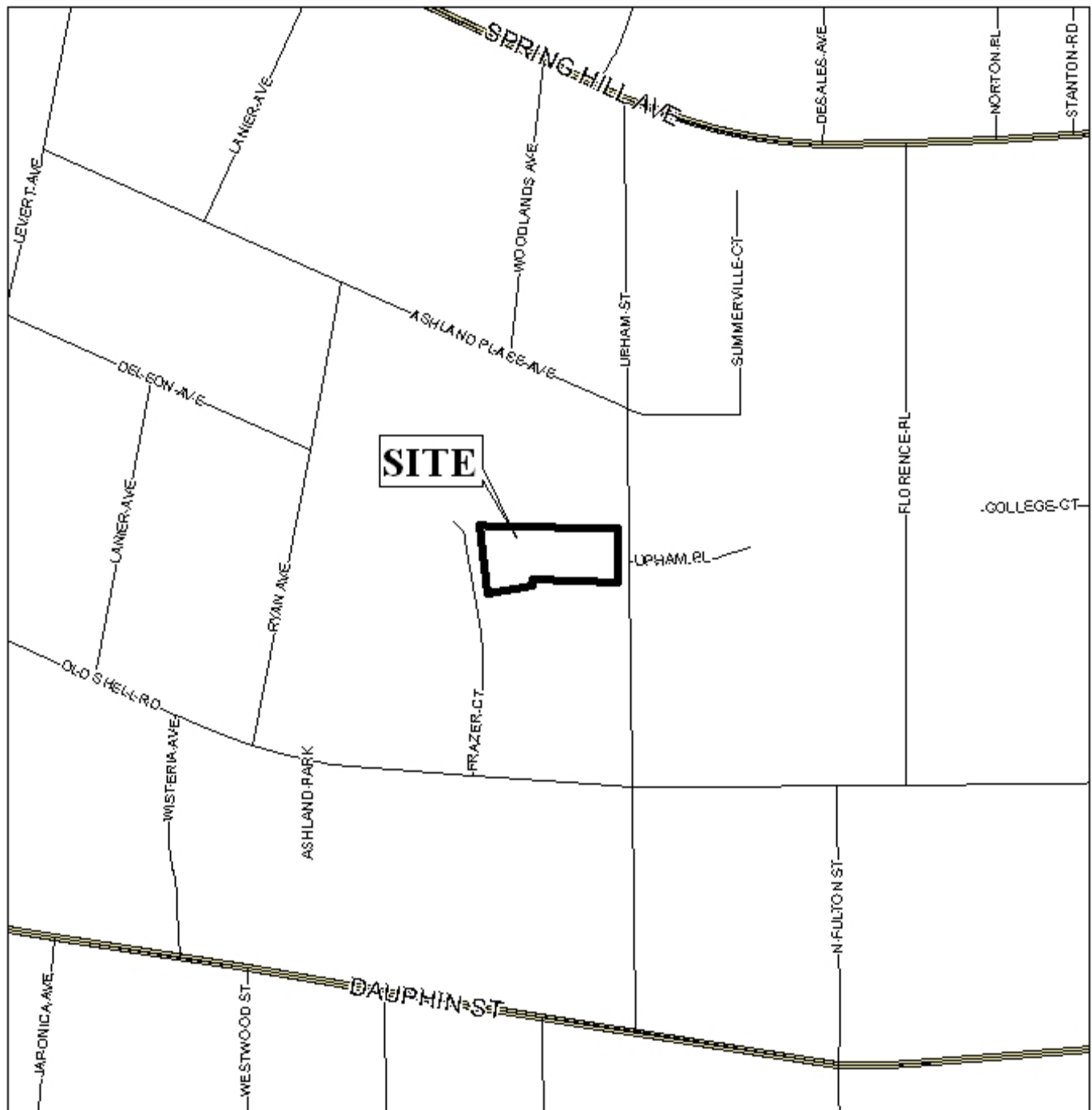
As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lot A is limited to one curb-cut to Frazer Court, and Lot B is limited to two curb-cuts to Upham Street, with the size, location and design of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for tentative approval subject to the following conditions:

- 1) retention of the dedication to provide 25' from the centerline of Upham Street to the City of Mobile;
- 2) successful vacation of the 7.5' drainage and utility easement;
- 3) retention of the 25-foot minimum building setback line along all right-of-way frontages;
- 4) retention of the lot labels with sizes in square feet and acres, or placement of a table on the plat with the same information;
- 5) compliance with Engineering comments (*Add a signature block for the Traffic Engineer. Correct the flood zone note; and show and label the existing flood zones. Provide all other information required for a Final Plat review.*);
- 6) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 7) placement of a note on the Final Plat limiting Lot A to one curb-cut to Frazer Court and Lot B to the two existing curb-cuts to Upham Street, with the size, design, and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards; and
- 8) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

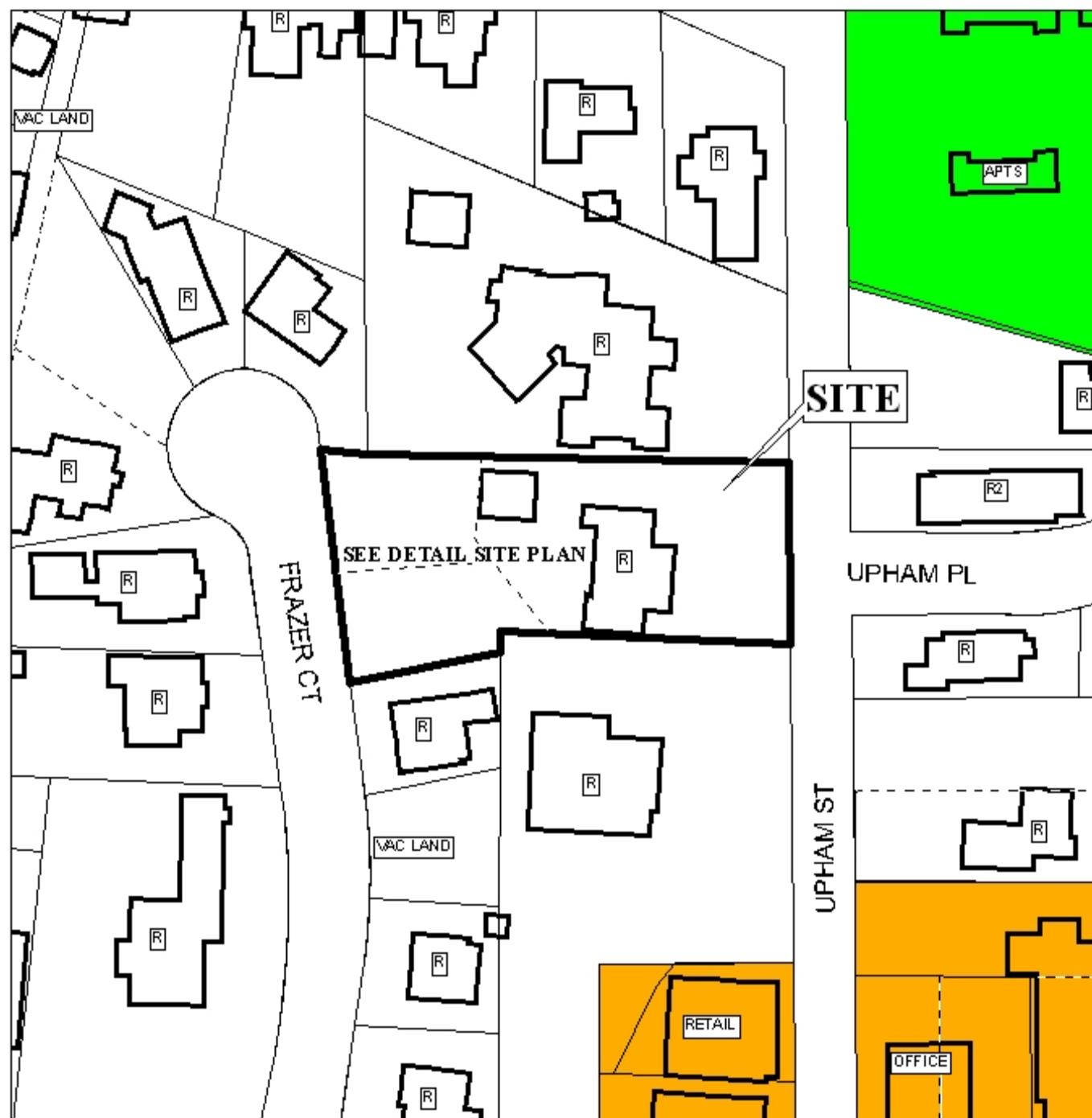
LOCATOR MAP



APPLICATION NUMBER 17 DATE July 5, 2012
APPLICANT Frazer-Suffich Subdivision
REQUEST Subdivision



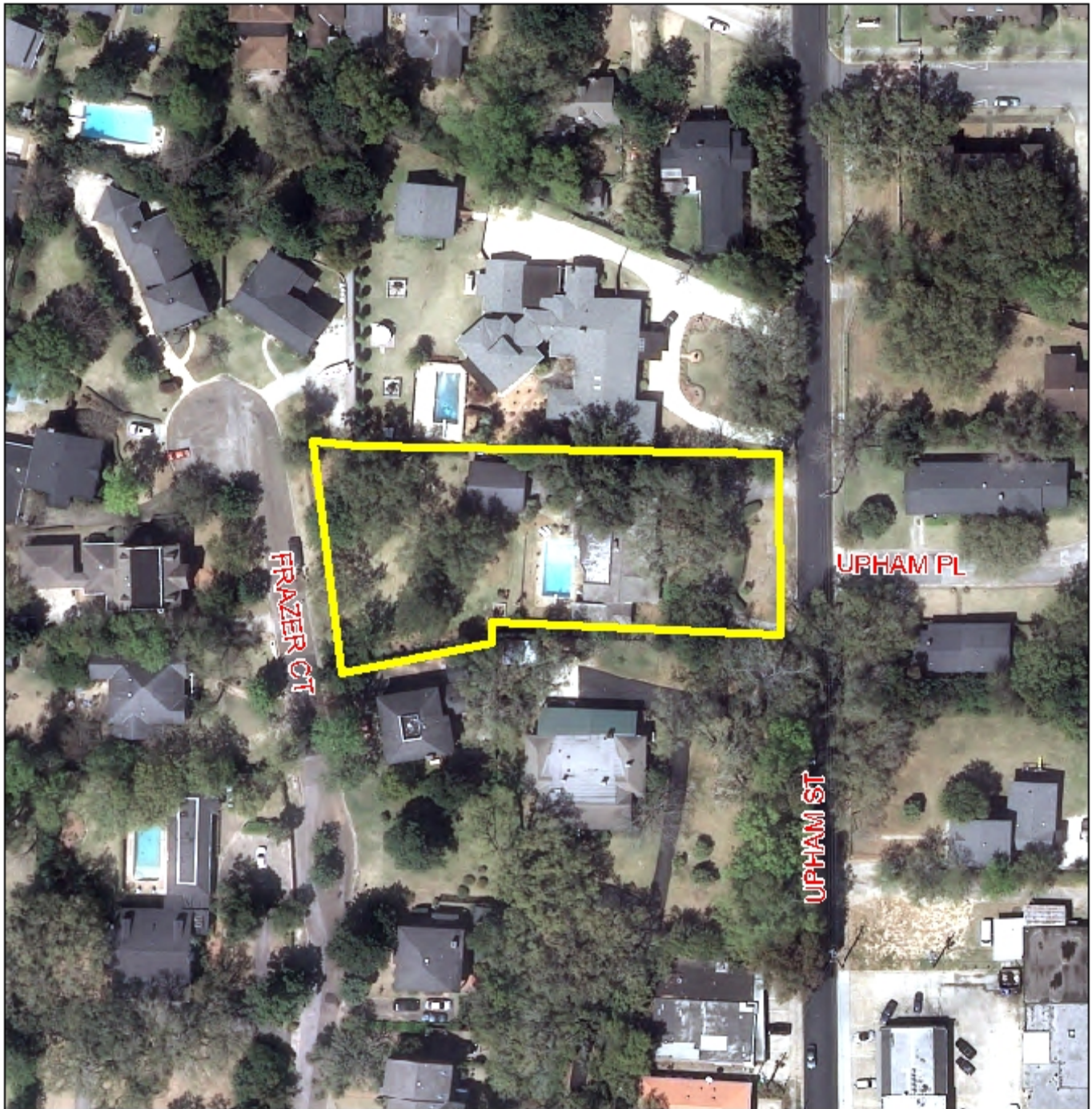
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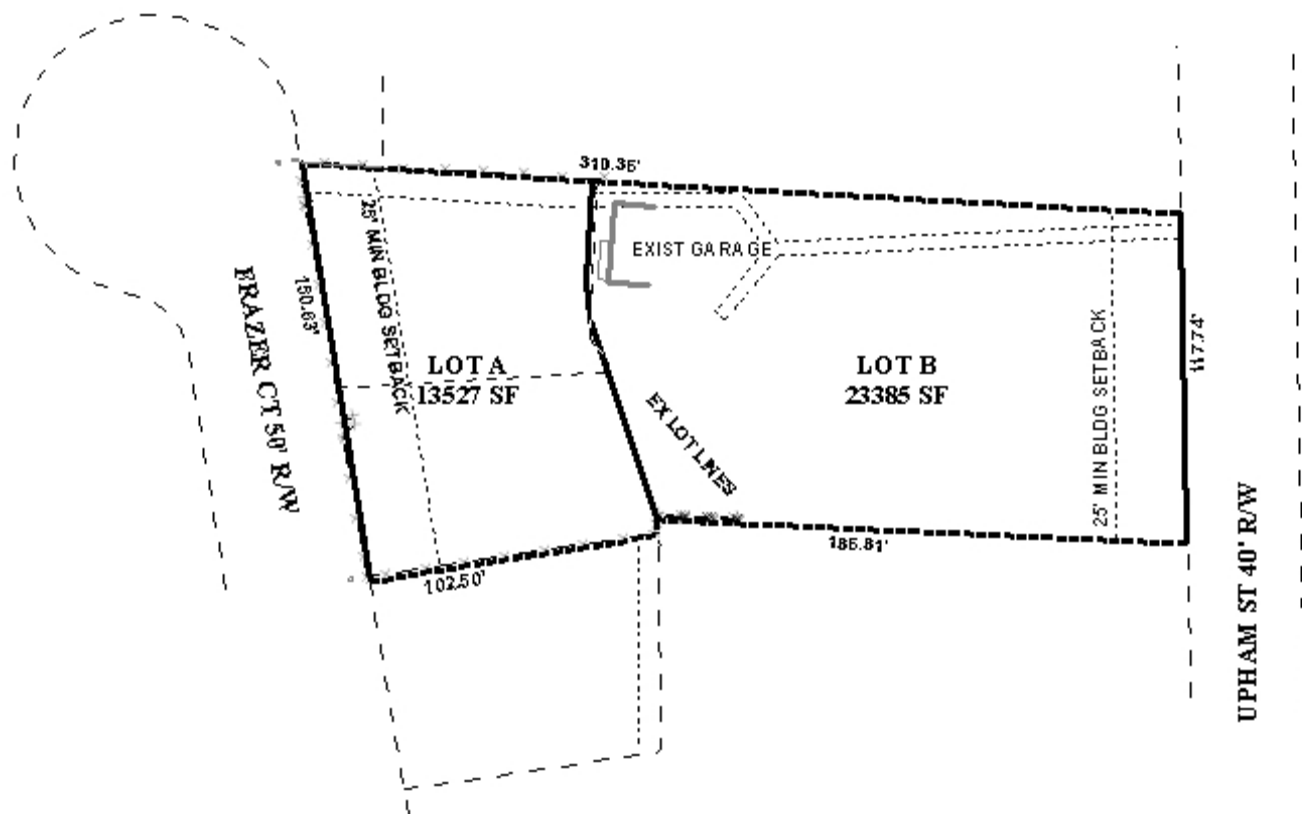


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NTS

DETAIL SITE PLAN



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REQUEST Subdivision

