

## **FOWLER SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has NO water or sewer services available.

The plat illustrates the proposed 2 lot, 4.4 ± acre subdivision which is located at the North side of Old Pascagoula Road, 780'± West of McDonald Road. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to create two legal lots from a metes and bounds parcel. The site is developed.

The site fronts Old Pascagoula Road, a proposed major street. The existing right-of-way width, according to the preliminary plat, is 60-feet, however, as a proposed major street, the right-of-way width should be a minimum of 100 feet. Dedication sufficient to provide 50-feet from centerline should be required.

Due to the site's location on a proposed major street, access management is a concern. The site is developed, and the proposed Lot 1 has two existing curb-cuts for its 280 feet of frontage: no additional curb-cuts for Lot 1 should be allowed. There are no existing curb-cuts for proposed Lot 2, and due to the proposed width of 60 feet, it should be limited to one curb-cut. The size, design and location of all curb-cuts must be approved by Mobile County Engineering and conform to AASHTO standards.

Lot 2, as proposed, will not comply with the width to depth ratio recommended by Section V.D.3. of the Subdivision Regulations. The applicant states that there are other properties in the vicinity that also have long narrow shapes, thus they argue that it is not unusual in the area. Lot 2 is proposed to be 60 feet by an average of 695 feet. It should be pointed out that the 60-foot width is as measured along Old Pascagoula Road, thus it is at an angle: measuring perpendicularly between each side of the proposed lot results in a width of only 55 feet, although the lot does widen to 60 feet at its Northern-most part. There are other Planning Commission approved lots in the vicinity that exceed the width to depth ratio, thus a waiver of Section V.D.3. may be appropriate. It is recommended, however, that the lot be widened to be a minimum of 60 feet wide along its entire length, when measured perpendicularly between the property lines.

The 25-foot minimum building setback is shown on the plat, however due to dedication, its location must be adjusted to reflect the dedication.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the final plat, if approved.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the final plat, if approved.

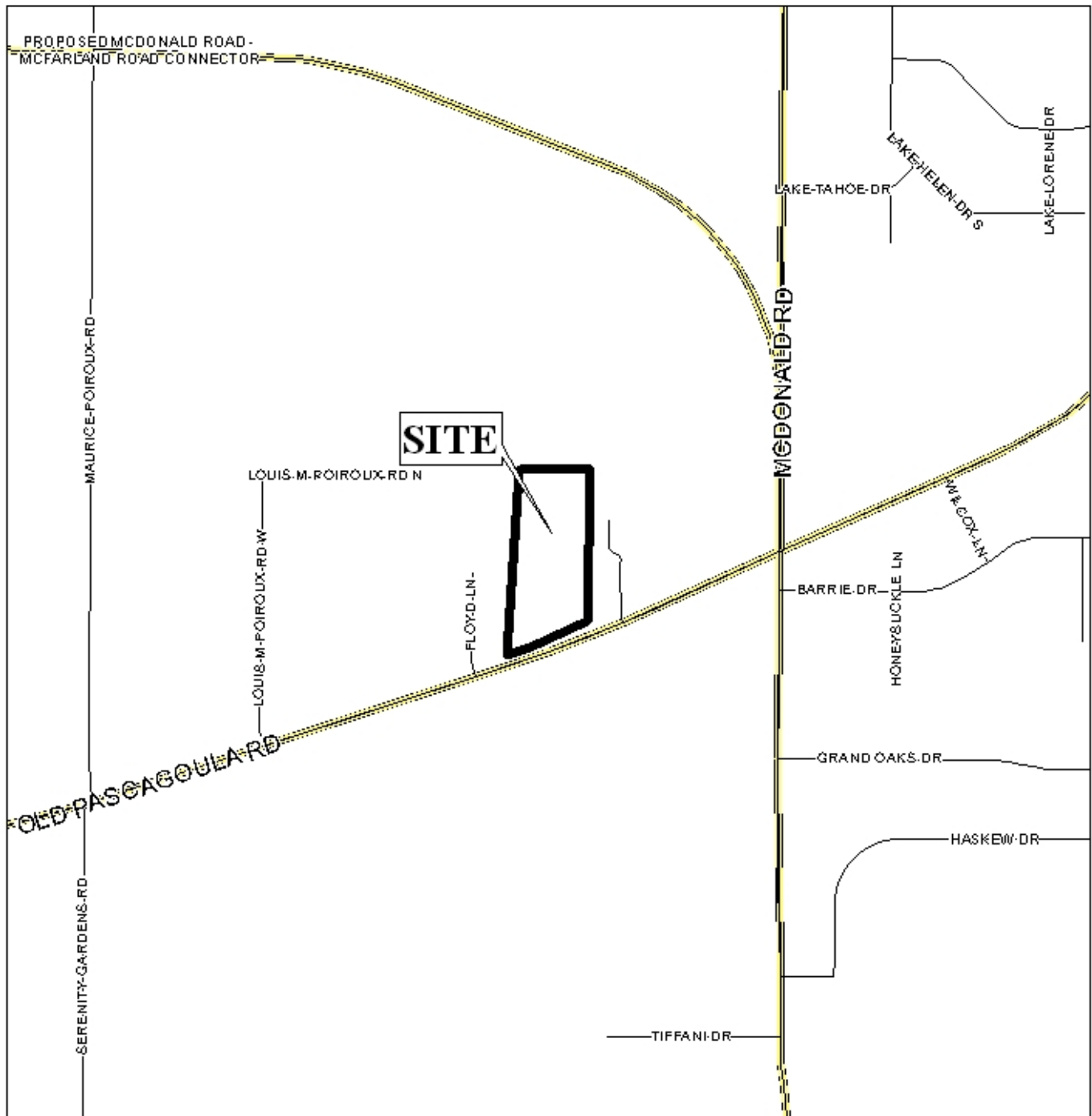
The site will have to comply with the City of Mobile storm water and flood control ordinances. A note regarding this requirement should appear on the final plat, if approved.

The lot size information on the preliminary plat should be adjusted to reflect the required dedication and change in the width of Lot 2, and be shown on the final plat, if approved.

With a waiver of Section V.D.3., the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication of right-of-way along Old Pascagoula Road sufficient to provide 50-feet from centerline;
- 2) Revision of the 25-foot minimum building setback line to reflect dedication;
- 3) Adjustment of the lot line between Lots 1 and 2 to ensure that Lot 2 is 60 feet wide for its entirety, as measured perpendicularly to the lot lines;
- 4) Revision of the lot sizes to reflect dedication and lot adjustments;
- 5) Placement of a note on the final plat stating that Lot 1 is limited to the two (2) existing curb-cuts and Lot 2 is limited to one (1) curb-cut, with any changes to the size, design or location to be approved by Mobile County Engineering and to comply with AASHTO standards;
- 6) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 7) Placement of a note on the final plat stating that new development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) Placement of a note on the final plat stating that new development must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits; and
- 9) Compliance with Fire-Rescue Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*)

# LOCATOR MAP



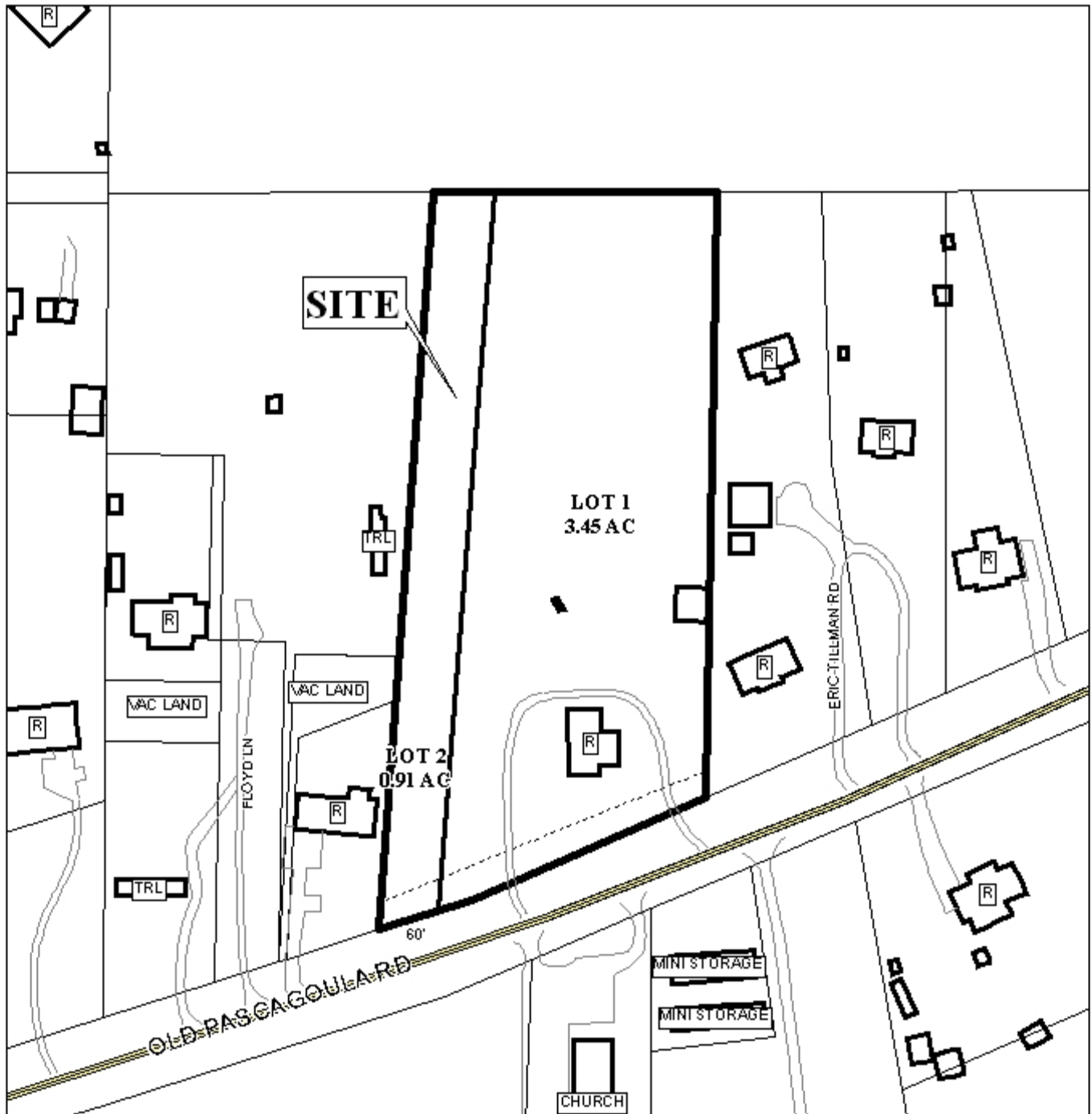
APPLICATION NUMBER 17 DATE August 2, 2012

APPLICANT Fowler Subdivision

REQUEST Subdivision



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