

**PLANNING APPROVAL STAFF REPORT****Date: April 21, 2005****NAME**

Dauphin Way United Methodist Church

**LOCATION**1507 Dauphin Street  
(South side of Dauphin Street, extending from Catherine Street to Lee Street)**CITY COUNCIL  
DISTRICT**

District 2

**PRESENT ZONING**

R-1, Single-Family Residential

**AREA OF PROPERTY**

4.8± Acres

**CONTEMPLATED USE**

Additional playground for a child day care center at an existing church

**TIME SCHEDULE  
FOR DEVELOPMENT**

Within Six Months of Approval

**ENGINEERING****COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**TRAFFIC ENGINEERING****COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**URBAN FORESTRY****COMMENTS**

Preservation status is to be given to the 42" Live Oak Tree located to the East of the proposed play ground. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger. Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code as adopted by the City of Mobile on July 6, 2004.

**REMARKS**

The applicant is proposing a new playground for a day care center at an existing church. The Zoning Ordinance requires Planning Approval for such

facilities when located in an R-1 district. As Planning Approval is site plan specific, any additions, expansions or changes to the physical development requires a new application.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Applications for Planning Approval, Planned Unit Development and Subdivision were presented to the Planning Commission in January. Those applications proposed a new playground and additional parking facilities. The applications were ultimately withdrawn.

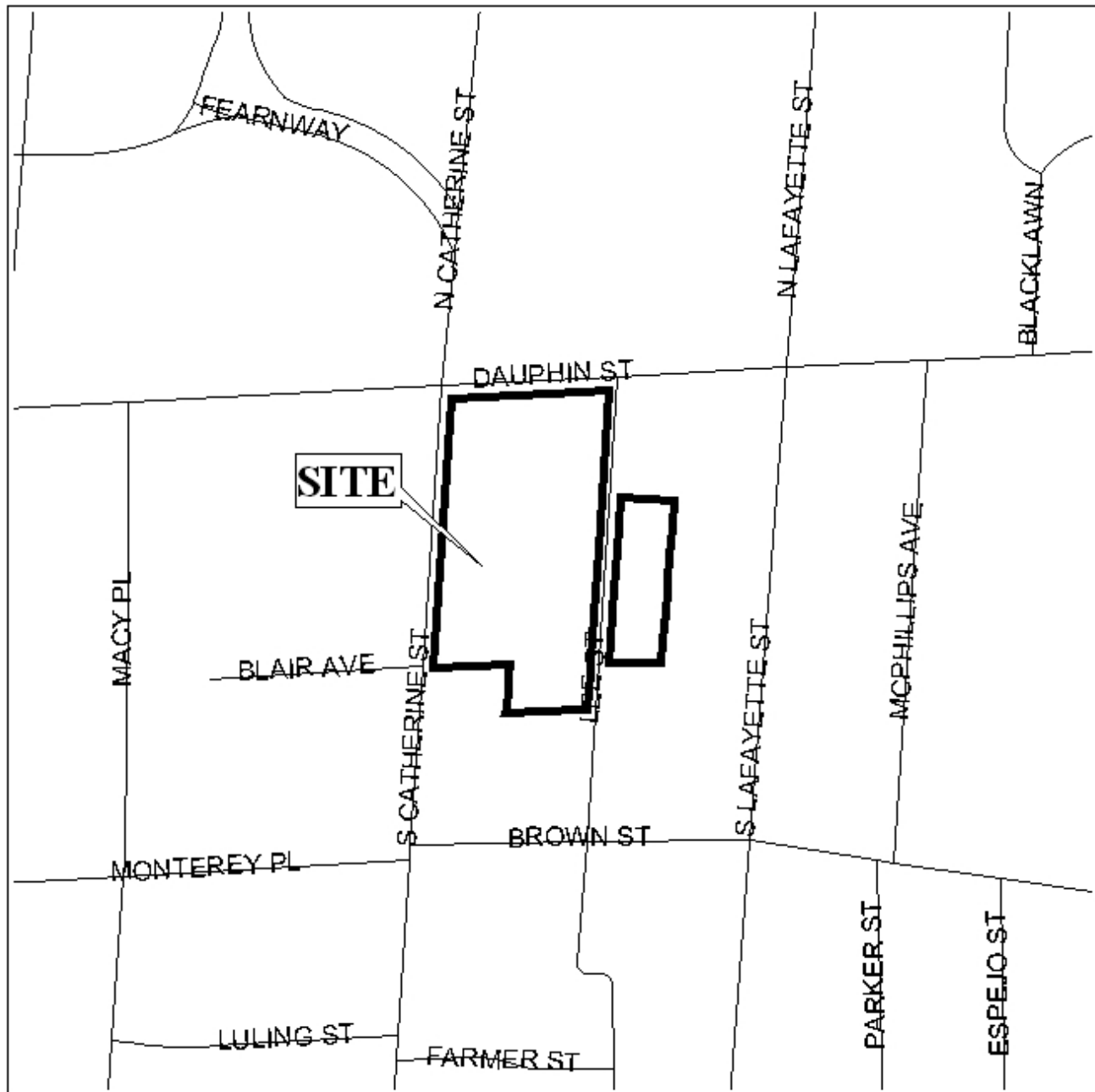
The plan now before the Commission is much less intense, does not propose additional parking or curb cuts, and appears to better fit the site and surrounding area.

Dauphin Street, which has an existing right-of-way of 60' is a major street as shown on the Major Street Plan and as such requires a minimum right-of-way of 100' and may require either a 40' parallel service road or some alternative method of access management. Also, with a 40' right-of-way and approximately 18'-20' of paved width, Lee Street is substandard; and thus, dedications sufficient to provide 25' from centerline should be required.

The site is located in the Old Dauphin Way historic District, and given the historic nature of the area and the numerous live oaks that line Dauphin Street from Broad Street to Fulton Street, it is, unlikely that additional rights-of-ways will be acquired or widening projects initiated. Additionally, as the site is located in the historic district, Architectural Review Board approval will be required.

**RECOMMENDATION** Based on the preceding, it is recommended that this application be approved subject to the following conditions: 1) approval by the Architectural Review Board prior to the issuance of any permits; 2) the 42" Live Oak Tree located to the East of the proposed play ground be given preservation status; and 3) full compliance with all municipal codes and ordinances.

## LOCATOR MAP



APPLICATION NUMBER 17 DATE April 21, 2005

APPLICANT Dauphin Way United Methodist Church

REQUEST Planning Approval



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family and multi-family residential units

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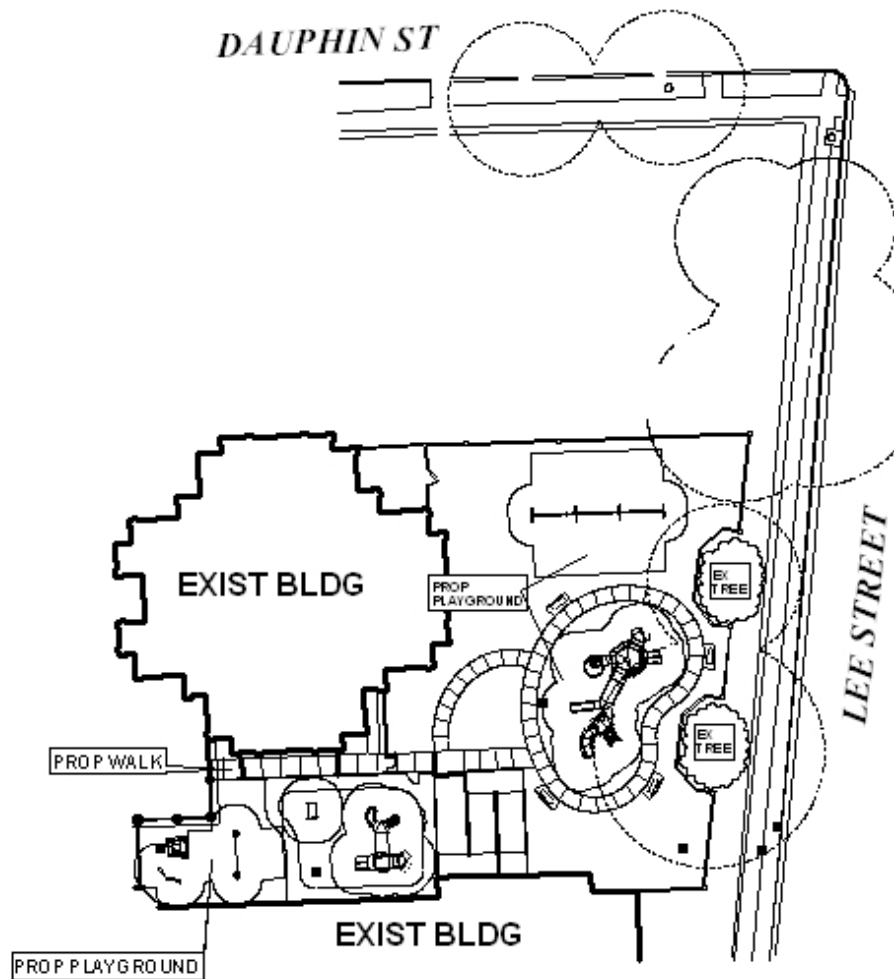
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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## SITE PLAN



The site plan illustrates the existing buildings along with the proposed playground, fencing, and concrete walks.

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