

D.E.C SUBDIVISION

RESUBDIVISION OF AND ADDITION TO LOT 1

Engineering Comments: Show any applicable special flood hazard areas on plat and minimum finished floor elevation, if applicable. All storm water must tie to a City of Mobile storm drainage system. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate. Shall comply with Section 508.5.1 of the 2003 IFC

Mobile Area Water & Sewer System Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.5± acre, 1 lot subdivision, which is located at the Northwest corner of Television Avenue and Broadcast Drive, in City Council District 5. The applicant states that the site is served by city water and sanitary sewer facilities.

The purpose of this application is to re-subdivide and add to an existing legal lot record. In 2005, the site was approved and recorded as an 18,540± square-foot, one-lot subdivision from a 5.1± acre metes and bounds parcel, with a large tract shown as future development. The applicant now wishes to extend Lot 1 approximately 30' to the North, thereby including a portion of the future development tract.

The site fronts Television Avenue and Broadcast Drive, both minor streets with sufficient right-of-way. No right-of-way dedication is required.

The site has approximately 90' of frontage along Television Avenue and 136' of frontage along Broadcast Drive. As a means of access management, a note should be place on the final plat

stating that Lot 1 is limited to one curb cut to each street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

As proposed, the site does not reflect an adequate radius at the intersection of Television Avenue and Broadcast Drive. The applicant should revise the plat to comply with Section V.B.16. of the Subdivision Regulations.

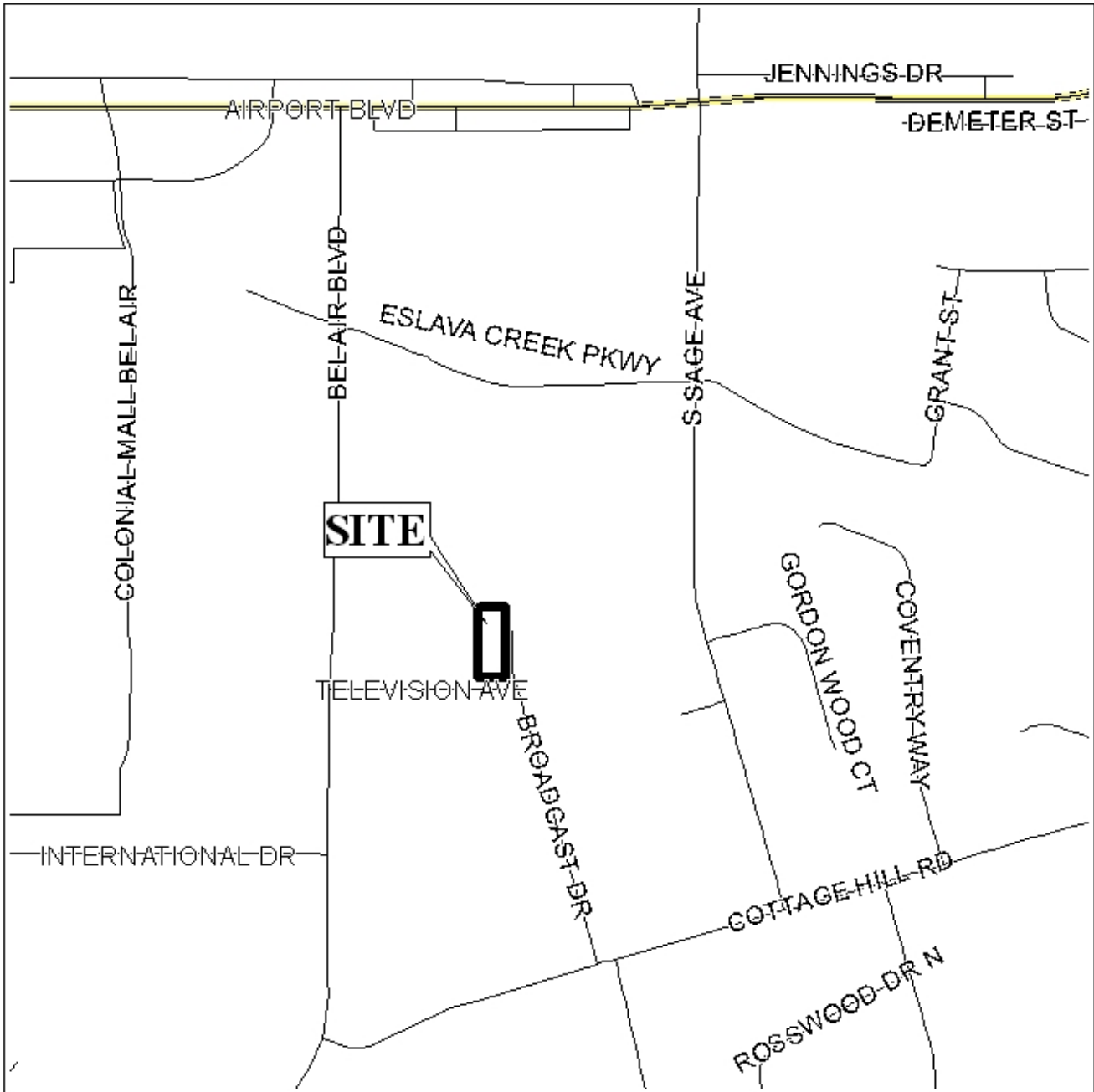
The plat meets the minimum size requirement for developments with access to public water and sewer. However, it is requested that the applicant revise the preliminary plat to label the lot with its size in square feet, or provide a table on the plat with the same information.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that Lot 1 is limited to one curb cut to each street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) provision of an adequate radius at the corner of Television Avenue and Broadcast Drive;
- 3) labeling of the lot with its size in square feet, or the provision of a table on the final plat with the same information;
- 4) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 5) subject to Engineering comments: *(Show any applicable special flood hazard areas on plat and minimum finished floor elevation, if applicable. All storm water must tie to a City of Mobile storm drainage system. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit).*

LOCATOR MAP



APPLICATION NUMBER 17 DATE April 17, 2008

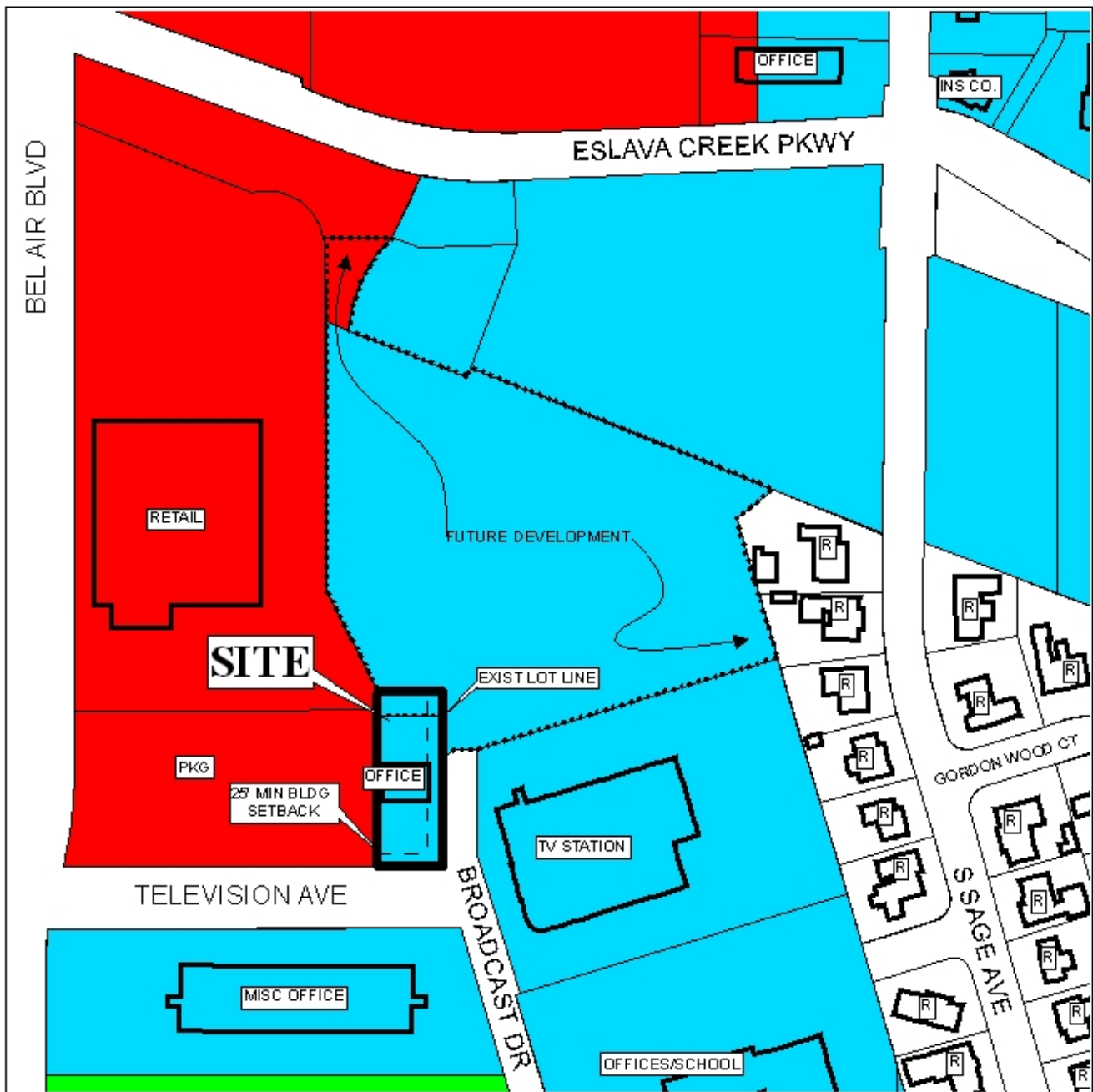
APPLICANT D.E.C. Subdivision, Resubdivision of and Addition to Lot 1

REQUEST Subdivision



NTS

D.E.C. SUBDIVISION, RESUBDIVISION OF AND ADDITION TO LOT 1



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NTS