

COLLETON PLACE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 148 lot, 46.6 ± acre subdivision which is located at the South side of Howells Ferry Road at Harvey Hill Road. The applicant states that the subdivision is served by public water and sewer systems.

The purpose of this application is to create a 148-lot subdivision from one lot.

The site that is being considered for this application was one of two lots that were part of the Colleton Place application that was approved with conditions by the Planning Commission at its October 19, 2006 meeting.

The plat approved at the October 2006 meeting showed 155 lots in Phase One, all of which were a minimum of 7,200 square feet in size, and a Phase Two area “reserved for future development.” The Phase Two area is excluded from the current application, and the lot sizes proposed with the currently application appear to be as small as approximately 4,700 square feet. Alleys are also proposed as part of the current application, and these alleys appear to be “public” alleys – Mobile County will allow public alleys, but will not accept maintenance responsibility of the alleys. Finally, the applicant is proposing a 15-foot minimum building setback line instead of the Subdivision Regulation-specified 25-foot minimum building setback line.

The proposed lot sizes, setbacks, alleys and common areas indicate that the applicant is attempting an “innovative” subdivision, however, no specific statement to this end has been provided by the applicant. While innovative subdivisions that embody traditional neighborhood development design elements are encouraged, the site is far removed from public transit service and is a “greenfield site” - a site that is currently minimally developed. It should also be pointed out that some of the proposed lot sizes and lot widths do not meet the minimum width or size requirements of Sections V.D.2. of the Subdivision Regulations. If it is the applicant’s intent to invoke innovative design or traditional neighborhood design consideration, the applicant should provide a statement indicating the design intent for the subdivision, if innovative under Section VIII.C. of the Subdivision Regulations, or revise the subdivision so that all lots meet minimum standards.

Access management is a concern as it relates to public safety. The subdivision, as proposed, will have only one connection to a public street. Street-stubs are proposed at two locations on the South side of the site, but there are no connections to other streets immediately accessible from the street-stubs, thus access to other public streets will not occur within the near future. At least one additional connection to an existing public street would improve accessibility for emergency vehicles.

A portion of the site may contain wetlands. The potential presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and

local agencies would be required prior to the issuance of any permits or land disturbance activities.

It appears that many of the corner lots do not comply with Section V.D.5. of the Subdivision Regulations; specifically, their widths are not adjusted to accommodate the required minimum building setback from both streets, thus the resulting buildable area width may not be sufficient.

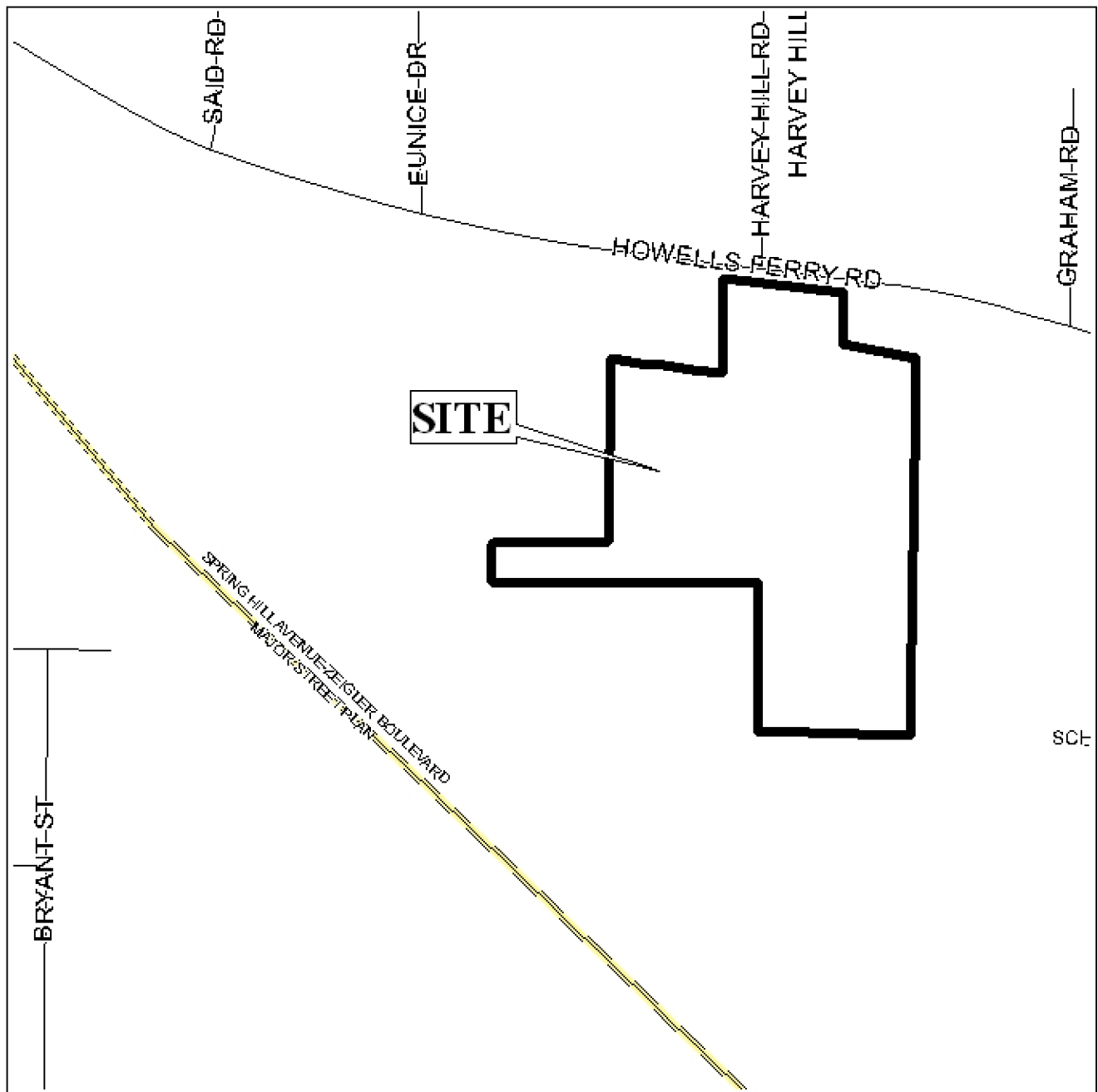
Common areas are proposed within the round-about, a road median, and as “park” and detention areas. A note should be placed on the final plat, if approved, stating that maintenance of the detention and common areas is the responsibility of the subdivision’s property owners.

Stormwater detention facilities are depicted on the plat. While the site is located in the county, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City’s stormwater and flood control ordinances should be submitted to the Planning Section of Urban Development prior to the signing of the final plat, if approved.

This site is located in Mobile County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based on the preceding, this application is recommended for Holdover until the February 1, 2007 meeting, with revisions due by January 8, 2007, to allow the applicant to undertake the following: 1) revision of the plat to meet the minimum lot size requirements contained in Section V.D. of the Subdivision Regulations, or provision of a statement justifying the request for reduced lot sizes and setbacks; 2) placement of a note on the plat stating that the approval of all applicable federal, state and local agencies will be required prior to the issuance of any permits or land disturbance activities if wetlands occur on the site; 3) placement of a note on the plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; 4) placement of a note on the plat stating that provision of a certification letter from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention and drainage facilities comply with the City of Mobile stormwater and flood control ordinances, is required prior to the signing and recording of the final plat; 5) placement of a note on the plat stating that maintenance of the detention and common areas is the responsibility of the subdivision’s property owners; and 6) labeling of all lots with size in square feet, or placement of a table on the plat containing the lot size information.

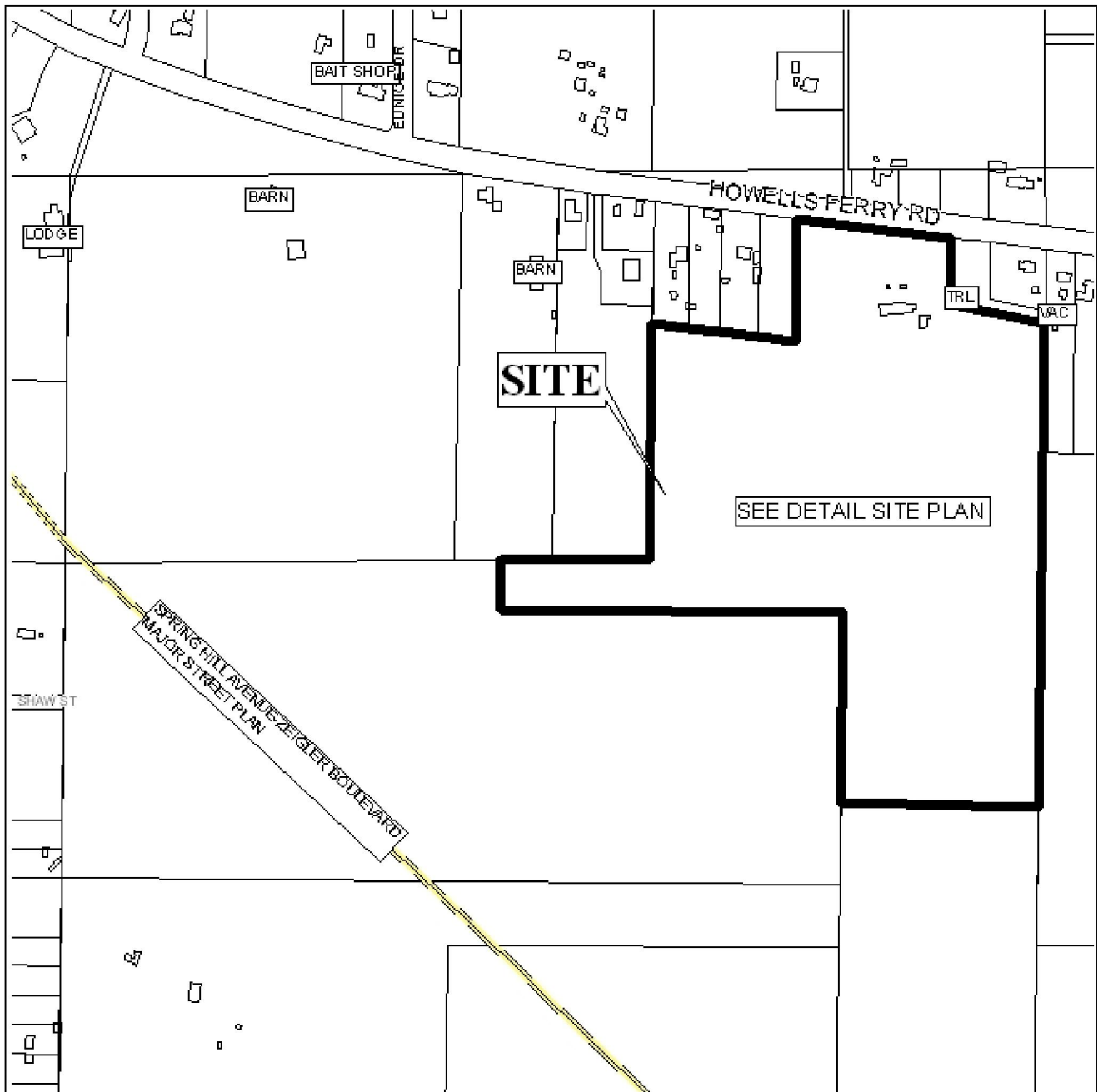
LOCATOR MAP



APPLICATION NUMBER 17 DATE January 4, 2007
APPLICANT Colleton Place Subdivision
REQUEST Subdivision

















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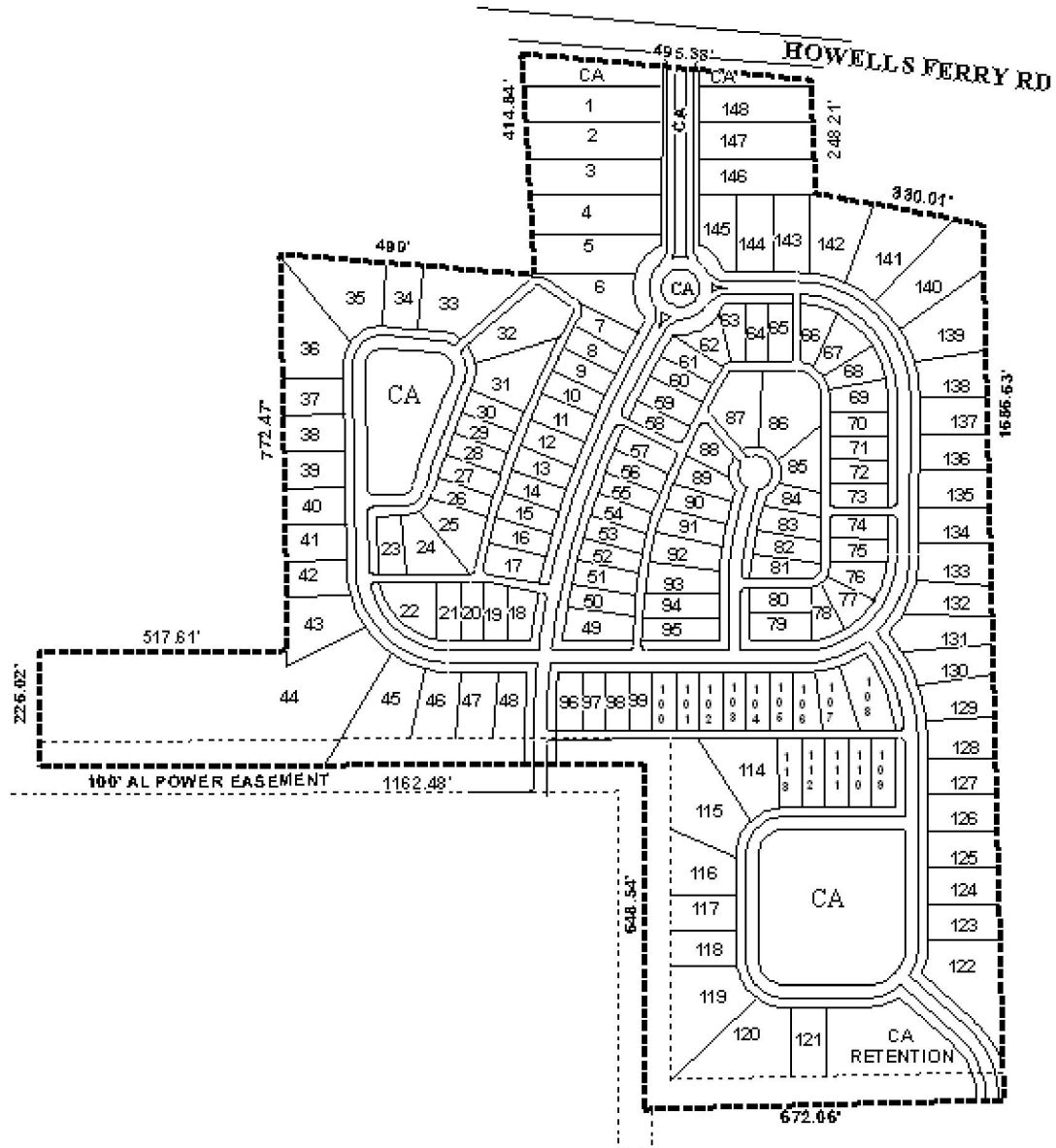
LEGEND

													
R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

DETAIL SITE PLAN



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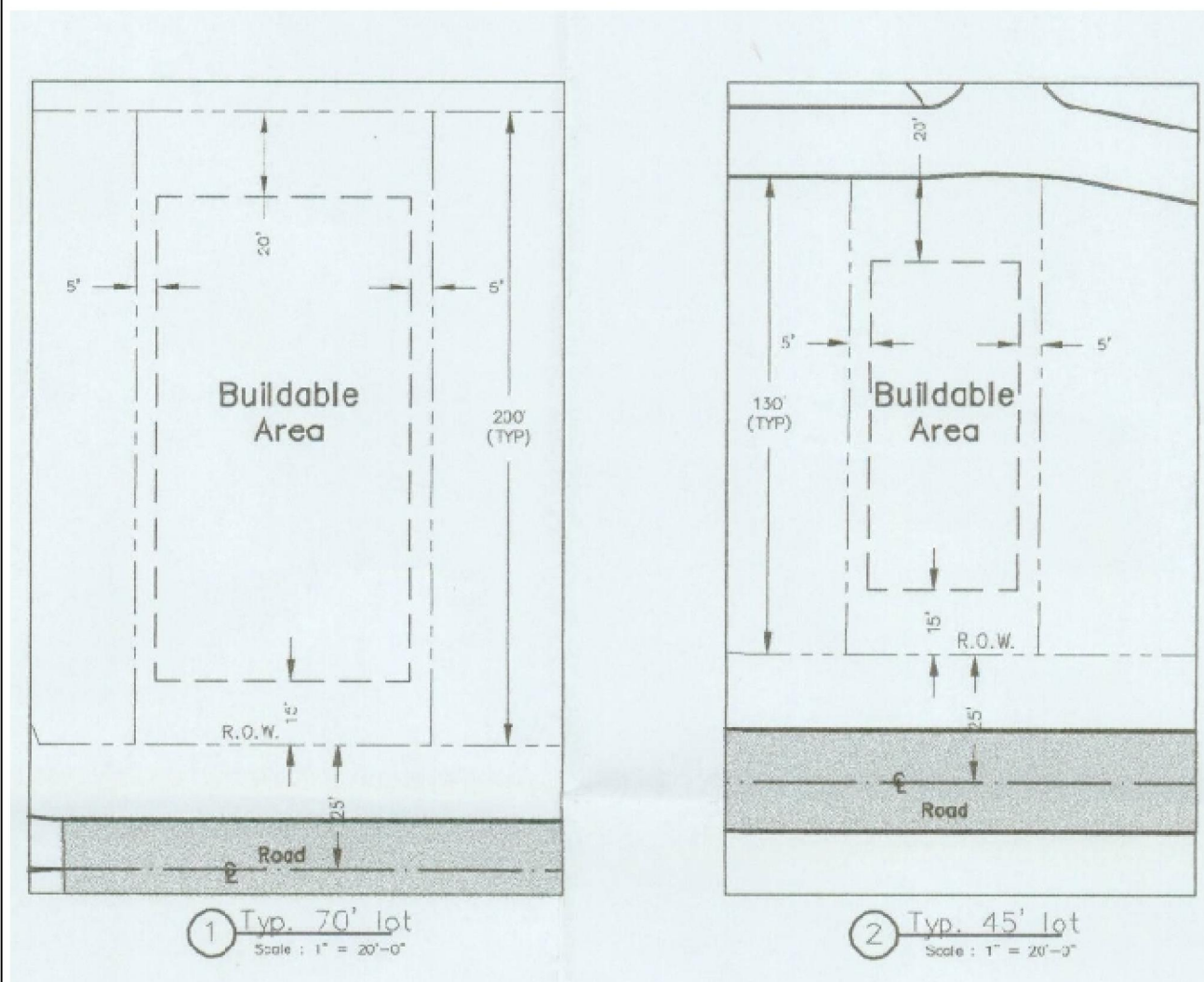
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TYPICAL LOT LAYOUT



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