

BRENNERDOM SUBDIVISION

RESUBDIVISION OF LOT A

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: No Comments

The plat illustrates the proposed 7.3± acre, 2 lot subdivision, which is located on the West side of Eliza Jordan Road, 380'± North of the West terminus of Pete Sentz Road – within the planning jurisdiction. The applicant states that the site is served by public water and individual septic tanks.

The purpose of this application is to re-subdivide a legal lot of record into two lots.

The site fronts Eliza Jordan Road, which is part of the Major Street Plan and is required to have a minimum 100' right-of-way. As only 80' is illustrated on the plat, dedication should be required. However, upon the approval of Brennerdom Subdivision in 2007, the Commission allowed a 75' setback line as measured from the centerline of Eliza Jordan Road, which may be appropriate here. The applicant has already illustrated this setback on the plat.

As proposed, Lots 1A and 2A have approximately 270' and 180' of frontage, respectively, along Eliza Jordan Road. As a means of access management, a note should be placed on the final plat stating that each lot is limited to one curb cut to Eliza Jordan Road, with the size, location, and design to be approved by County Engineering and in conformance with AASHTO standards.

As illustrated on the plat, a pond exists on the site. The presence of the pond indicates that the site may be environmentally sensitive; therefore, the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

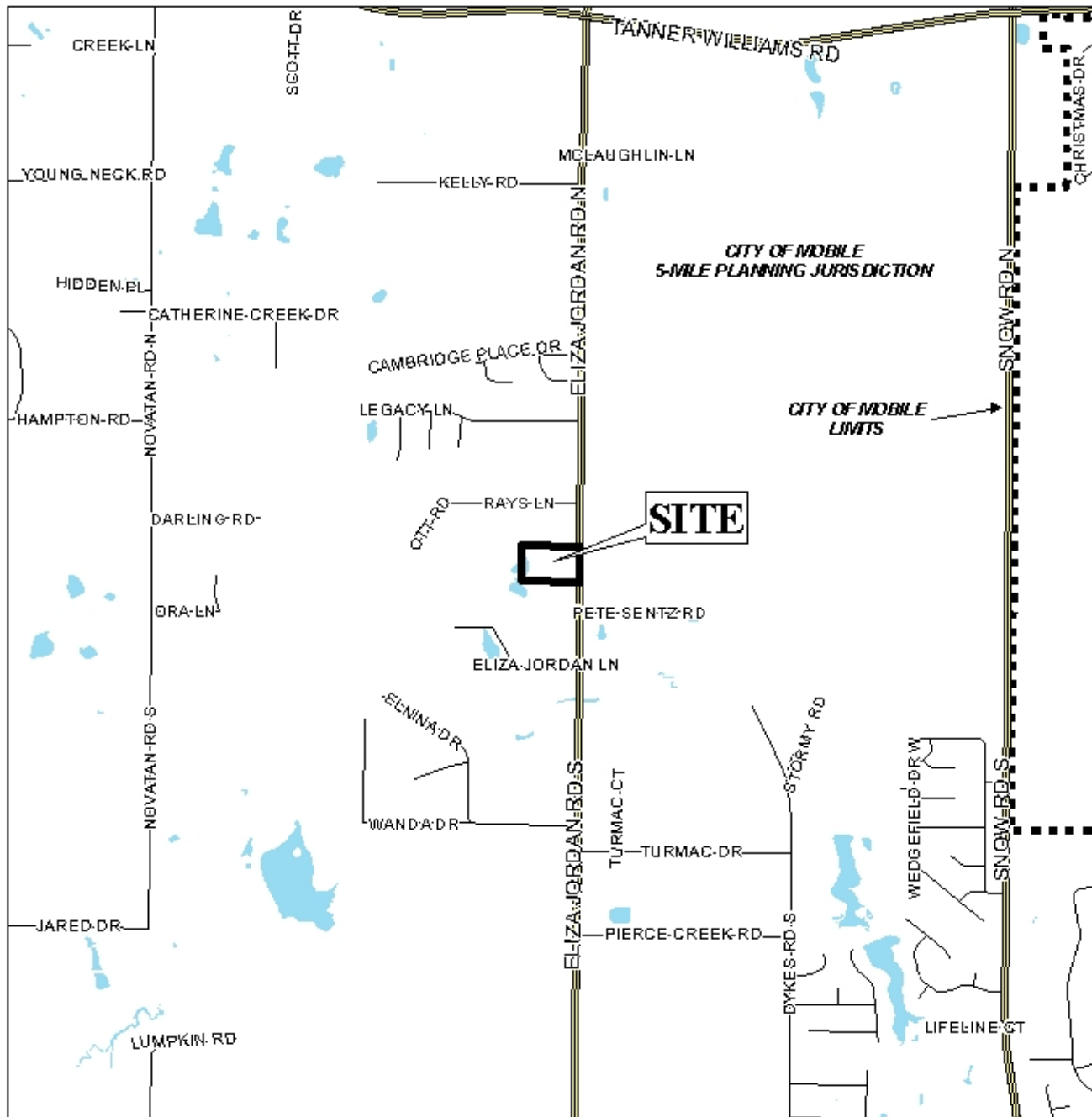
The site is located in the county. Therefore, a note should be placed on the final plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

Based on the preceding, the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that each lot is limited to one curb cut to Eliza Jordan Road, with the size, location, and design to be approved by County Engineering and in conformance with AASHTO standards;
- 2) the applicant receive the approval of all applicable federal, state and local environmental agencies prior to the issuance of any permits or land disturbance activities;
- 3) placement of a note on the plat stating that the site must be developed in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species;
- 4) placement of a note on the final plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.7. of the Subdivision Regulations; and
- 5) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits.

LOCATOR MAP



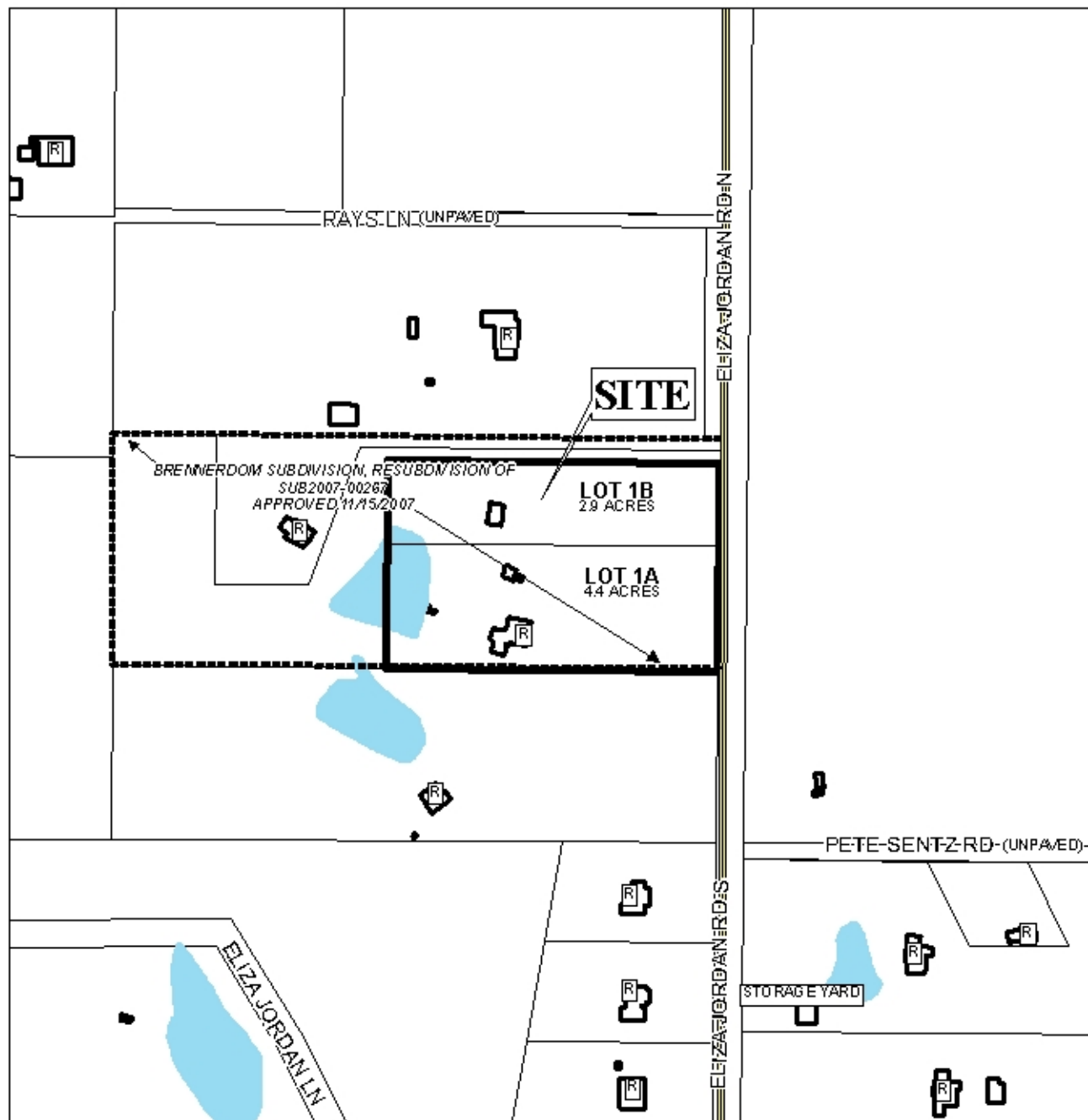
APPLICATION NUMBER 17 DATE May 21, 2009

APPLICANT Brennerdom Subdivision, Resubdivision of Lot A

REQUEST Subdivision

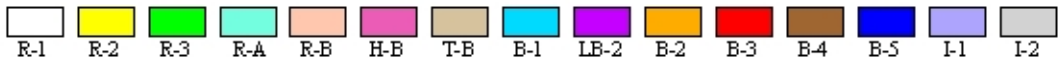


BRENNERDOM SUBDIVISION, RESUBDIVISION OF LOT A



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LEGEND



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BRENNERDOM SUBDIVISION, RESUBDIVISION OF LOT A



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