

PLANNING APPROVAL STAFF REPORT**Date: September 1, 2011****NAME**

Bay Bank

LOCATION216 East I-65 Service Road North
(East side of East I-65 Service Road North, 425'± North of
Old Shell Road)**CITY COUNCIL
DISTRICT**

District 1

PRESENT ZONINGB-3, Buffer Business District, and R-1, Single-Family
Residential District**AREA OF PROPERTY**

1.0 ± Acre

CONTEMPLATED USEPlanning Approval to allow heavy equipment sales, rental
and leasing in a B-3, Community Business District.**TIME SCHEDULE
FOR DEVELOPMENT**

None given.

**ENGINEERING
COMMENTS**

Engineer needs to confirm that detention is provided for all impervious area added since 1984 and shall also certify that any existing detention pond is adequately sized, functional and stable prior to approval of any building permit. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Full compliance with landscaping and tree requirements of the Zoning Ordinance to be coordinated with Urban Forestry.

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planning Approval to allow heavy equipment sales, rental and leasing in a B-3, Community Business District. Planning Approval is required for heavy equipment sales, rental and leasing in B-3 districts.

The site, as described by the submitted legal description, consists of a metes-and-bounds parcel which is split-zoned B-3, Community Business District, and R-1, Single-Family Residential District. A portion of the B-3 zoning was assigned with the adoption of the current Zoning Ordinance in 1967. The Northern portion of the site consists of a vacated street car railway right-of-way. The Western portion of the vacated right-of-way assumed B-3 zoning upon vacation; however, the Eastern portion is zoned R-1, and this creates split zoning within the property. Thus, the entire site should be rezoned from B-3 and R-1 to B-3 to eliminate the split zoning. Also, the over-all site should be made one legal lot of record via a one-lot subdivision. Since there may be conditions of approval, if approved, for the required rezoning and subdivision which could require revisions to the submitted site plan, this application is recommended for holdover to the meeting of October 6th to allow the applicant to submit the required rezoning and one-lot subdivision applications to be heard in conjunction with this application.

Access to the rear of the site is shown via two sets of gates, neither of which have the required three-vehicle, 51' queuing space out of the public right-of-way. The site plan should be revised to provide the required vehicle queuing space out of the public right-of-way along the I-65 Service Road.

It should be noted that the submitted site plan does not indicate a dumpster location, landscaping and tree planting plan, or buffering along adjacent residential properties. Also, the existing aggregate surface must either be paved with asphalt, concrete, or an approved alternative paving surface or should be removed and landscaped, or a Surface Variance application should be submitted to the Board of Zoning Adjustment.

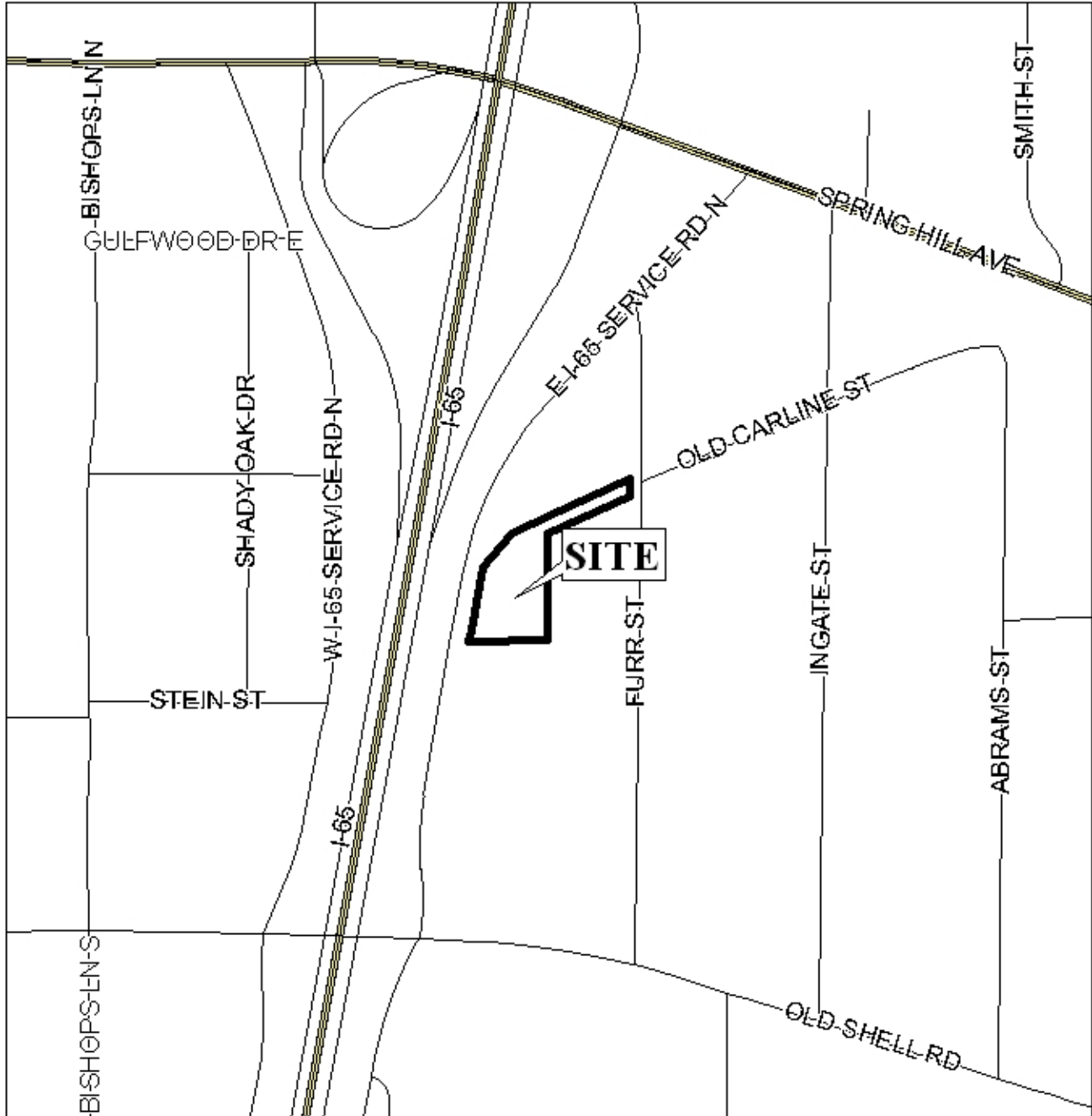
RECOMMENDATION

Planning Approval: Based upon the preceding, this request is recommended for Holdover until the October 6th meeting so that applications for Subdivision and Rezoning approvals can be submitted by September 6th, and so that the following revisions can be made:

- 1) revision of the site plan to provide a three-vehicle, 51' queuing space for the two gates along the I-65 Service Road;
- 2) revision of the site plan to include a compliant dumpster location or inclusion of a note on the site plan stating that curbside collection will be utilized;
- 3) revision of the site plan to indicate landscaping and tree compliance;
- 4) revision of the site plan to indicate compliant buffering in areas where the site adjoins residential properties; and

- 5) revision of the site plan to indicate compliant paving on the current aggregate surface or removal and landscaping of the aggregate surface, or submission of a Surface Variance to the Board of Zoning Adjustment to allow the aggregate paving surface.

LOCATOR MAP



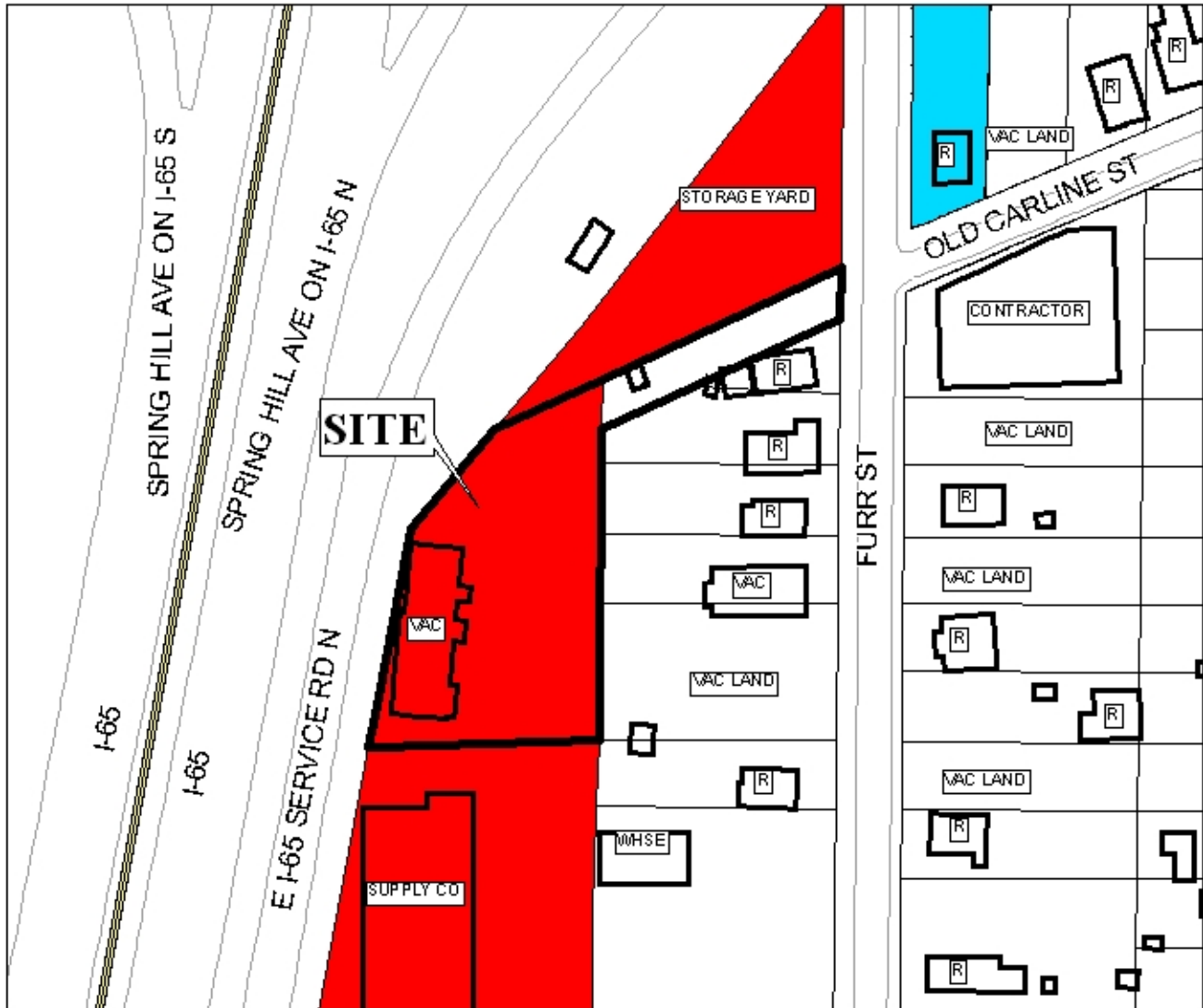
APPLICATION NUMBER 17 DATE September 1, 2011

APPLICANT Bay Bank

REQUEST Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential and business land use.

APPLICATION NUMBER 17 DATE September 1, 2011

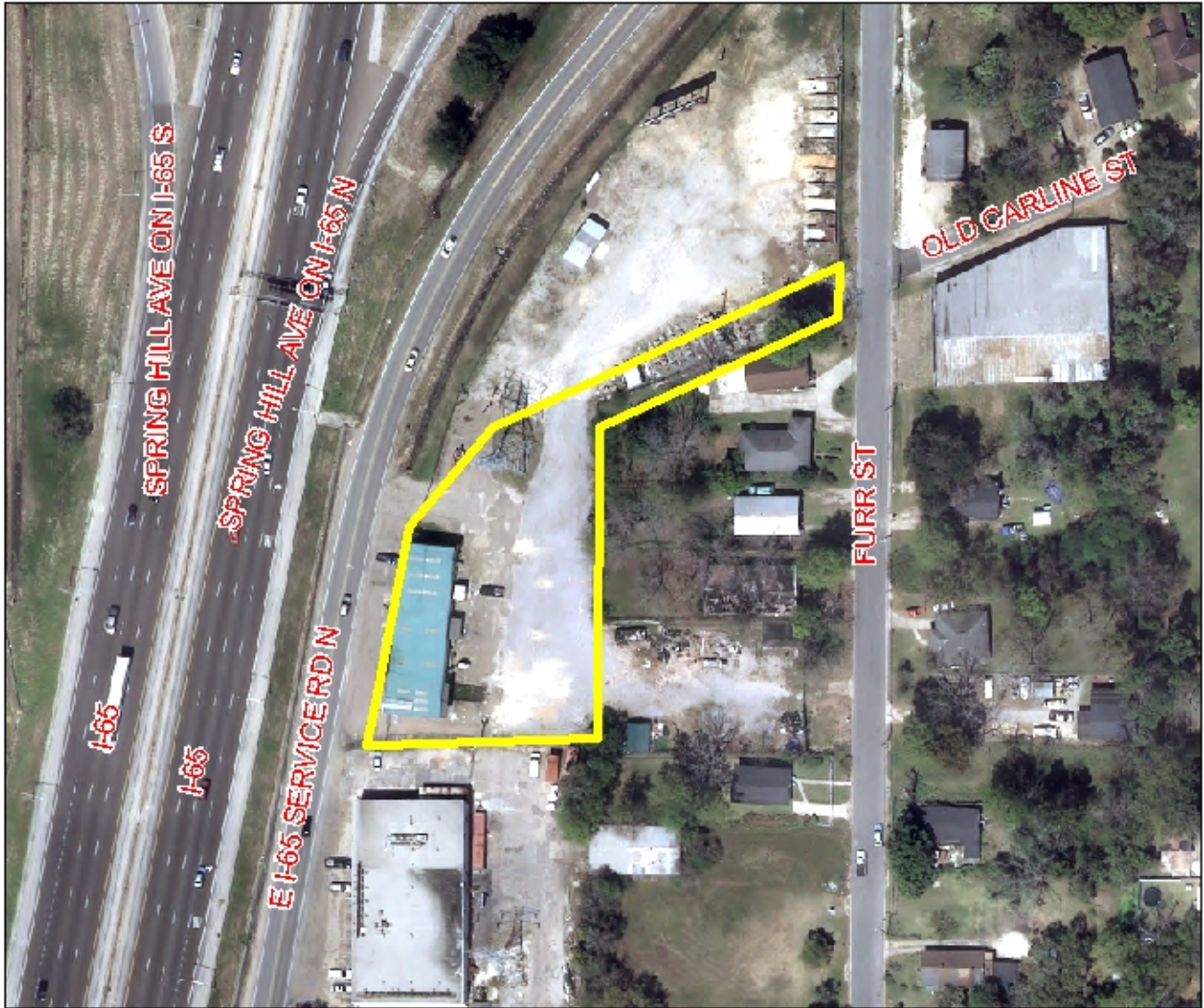
APPLICANT Bay Bank

REQUEST Planning Approval

LEGEND

													NTS	
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

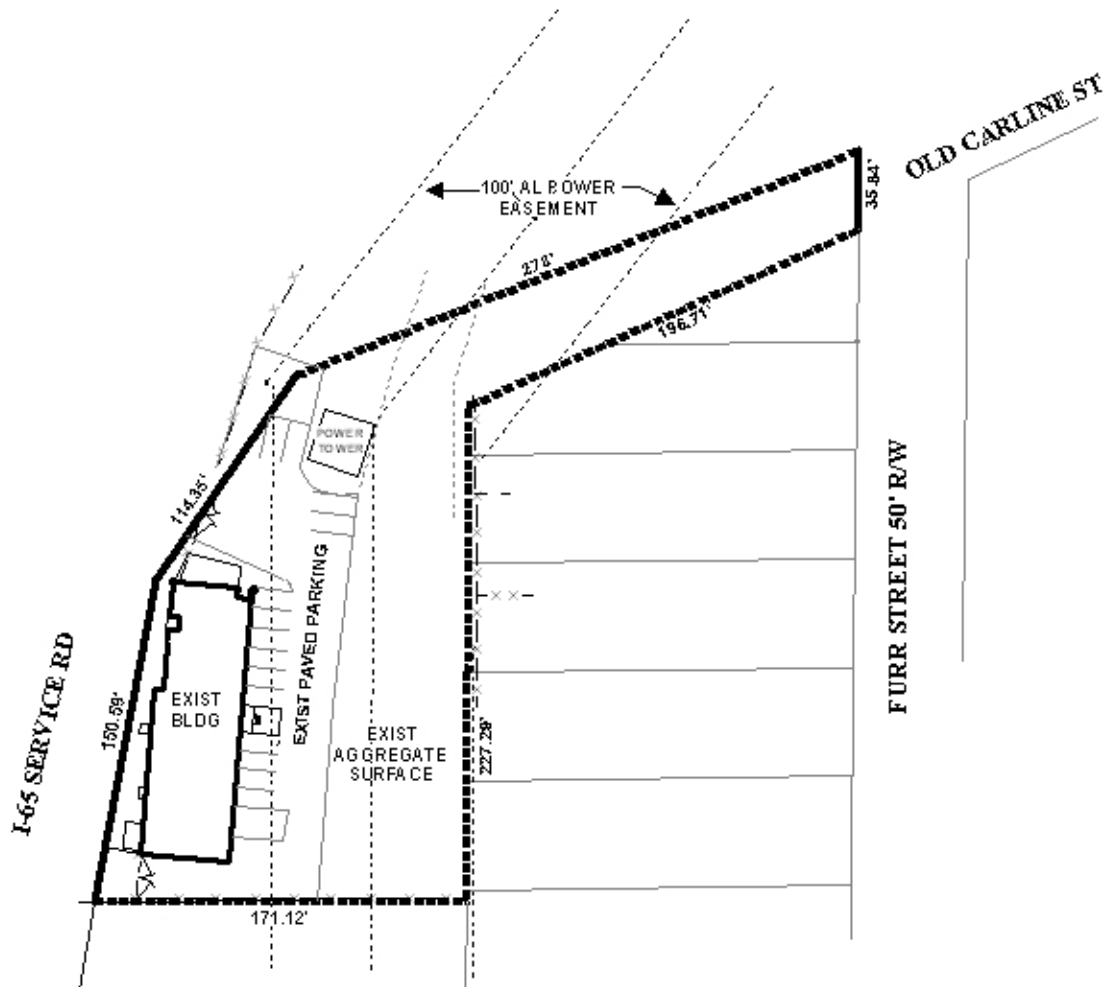


The site is surrounded by residential and business land use.

APPLICATION NUMBER 17 DATE September 1, 2011
APPLICANT Bay Bank
REQUEST Planning Approval



SITE PLAN



The site plan illustrates the existing improvements.

APPLICATION NUMBER 17 DATE September 1, 2011
 APPLICANT Bay Bank
 REQUEST Planning Approval

