

**PLANNED UNIT DEVELOPMENT &  
PLANNING APPROVAL STAFF REPORT****Date: March 18, 2010****APPLICANT NAME**

St Paul's Episcopal School

**DEVELOPMENT NAME**

St Paul's Episcopal School

**LOCATION**

161 Dogwood Lane  
(Area bounded by Old Shell Road, Dogwood Lane, Loyola Lane, Myrtlewood Lane, [vacated], South Avenue, Spring Hill College, and Provident Lane)

**CITY COUNCIL  
DISTRICT**

Council District 7

**PRESENT ZONING**

R-1, Single-Family Residential

**CONTEMPLATED USE**

Planned Unit Development and Planning Approval to amend a previously approved Master Plan for an existing school in an R-1, Single Family Residential District, to allow the construction of a new press box addition, track/field house, covered football practice facility, visitors' restroom facility, camera towers, and sponsor billboards.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediate

**ENGINEERING  
COMMENTS**

The applicant shall provide detention for all impervious areas added to the site since 1984. If an existing detention facility is to be utilized, then the engineer shall certify that the existing detention facilities are properly functioning and has adequate capacity to capture and detain storm drainage from the site. Need to locate and indicate on the plans the existing storm drainage structures coming from the unopened ROW of Myrtlewood Ln. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The Mobile Planning Commission on January 8th 2004 required the entire St. Paul's campus to comply with the tree planning requirements of the Zoning Ordinance. Urban Forestry requests an updated campus landscape plan showing the required trees.

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate

### **REMARKS**

The applicant is requesting Planned Unit Development and Planning Approval to amend a previously approved Master Plan for an existing school in an R-1, Single Family Residential District, to allow the construction of a new press box addition, track/field house, covered football practice facility, visitors' restroom facility, camera towers, and sponsor billboards.

Since 1999, the master plan has been amended several times with Planning Commission approval. The scope of work proposed in the current amendment includes:

- Press box addition – removal of existing 8' X 18' prefabricated structure; to be replaced with new 8' X 72' prefabricated structure
- New track and field house – 36' X 90' single-story CMU building to be used for offices, locker room / restrooms, trophy display area and meeting room
- Covered football practice facility – 60' X 60' single-story pre-engineered metal building to be used for indoor football practice during inclement weather
- Visitor's restroom building – single-story CMU building to be used as restrooms for spectators of a visiting team
- Camera towers – 10 square feet, 25' in height; to be used for filming various sporting events and practices
- Sponsor billboard – to display the names of sponsors of the various sports teams and to advertise various school-related activities and tournament brackets and results; 12' X 25'

As stated in Section 64-5. of the Zoning Ordinance, Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate

development of the district. Planning Approval is site plan and use specific, thus any future changes to the site or operation of the facilities will require additional Planning Approval.

The master plan has been amended numerous times (both Planning Approval and PUD): 1999, 2001, 2003, 2007 and 2008. The master plan approvals were granted subject to the following conditions:

- provision of a revised Campus Master Plan with any future application proposing new facilities not depicted on the Master Plan that was approved at the June 15, 2006 meeting of the Planning Commission;
- submission of individual applications for each project (other than those involved in this amended application), providing detailed information with regard to the numbers of classrooms involved, number of parking spaces provided, and detailed information on the location of proposed improvements;
- property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64);
- full compliance with the landscaping and tree planting requirements of the Ordinance for the entire campus, to be coordinated with and approved by Urban Forestry; and
- full compliance with all municipal codes and ordinances

Staff has determined that the proposed improvements will not impact parking or traffic circulation; however, it should be pointed out that the additional facilities may necessitate compliance with the City of Mobile storm water and flood control regulations.

It is anticipated that lighting will be provided on the site for the new facilities. Any lighting provided must comply with Section 64-4.A.2 of the Zoning Ordinance, and not shine directly into adjacent residential areas or into traffic.

It should be noted that tree and landscaping has not yet been provided as required in previous approvals. The applicant should consult with Urban Forestry regarding the tree and landscaping requirements prior to the issuance of any permits or land disturbance activities.

**RECOMMENDATION**      **Planned Unit Development** Based on the preceding, the application is recommended for Approval, subject to the following conditions:

- 1) provision of a revised Campus Master Plan with any future application proposing new facilities not depicted on the Master Plan that was approved at the June 15, 2006 meeting of the Planning Commission
- 2) submission of individual applications for each project (other than those involved in this amended application), providing detailed information with regard to the numbers of classrooms involved, number of parking spaces provided, and detailed information on the location of proposed improvements;
- 3) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). The Mobile*

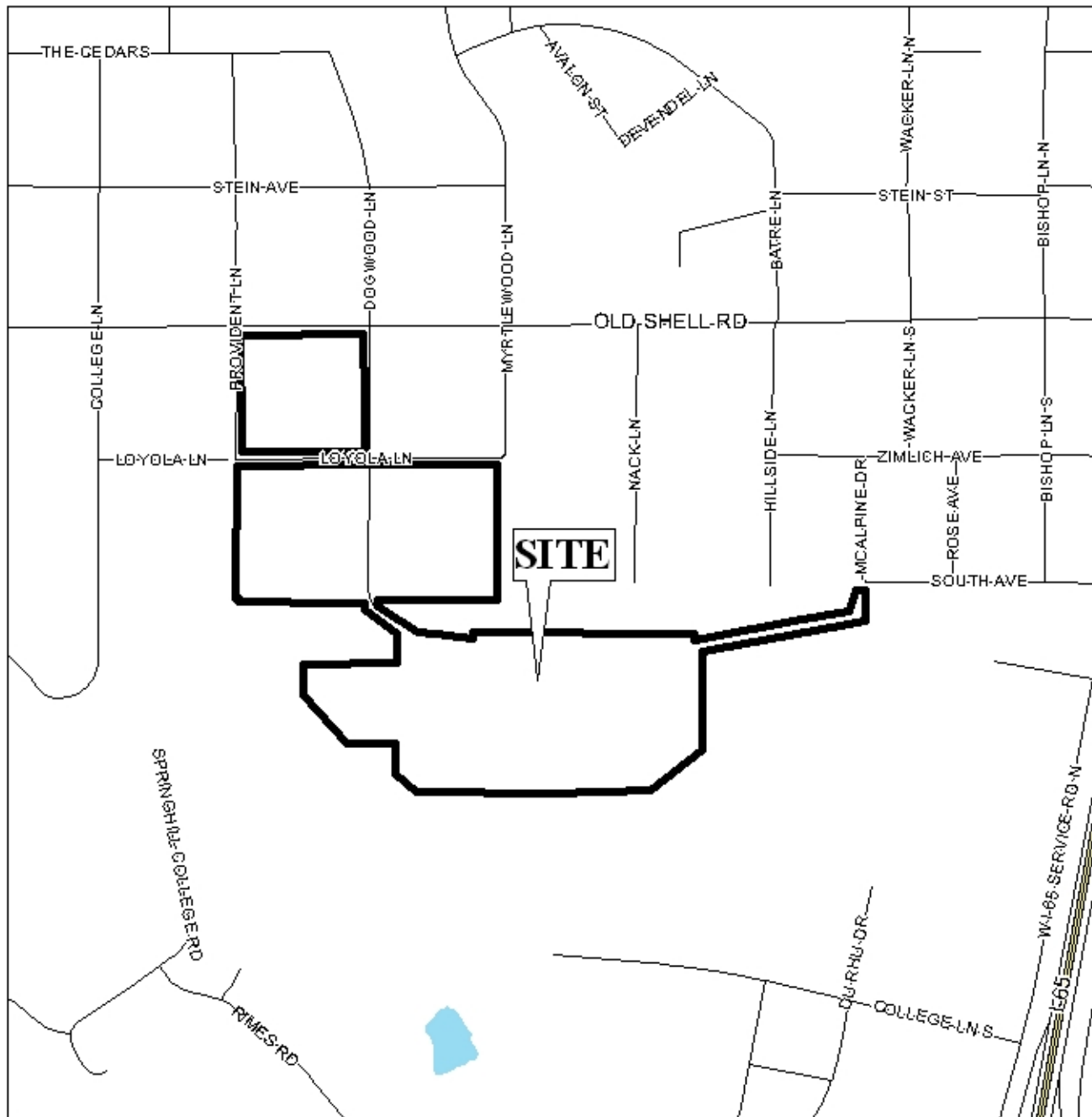
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- 4) compliance with City Engineering comments: *(The applicant shall provide detention for all impervious areas added to the site since 1984. If an existing detention facility is to be utilized, then the engineer shall certify that the existing detention facilities are properly functioning and has adequate capacity to capture and detain storm drainage from the site. Need to locate and indicate on the plans the existing storm drainage structures coming from the unopened ROW of Myrtlewood Ln. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit); and*
- 5) full compliance with all municipal codes and ordinances.

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# LOCATOR



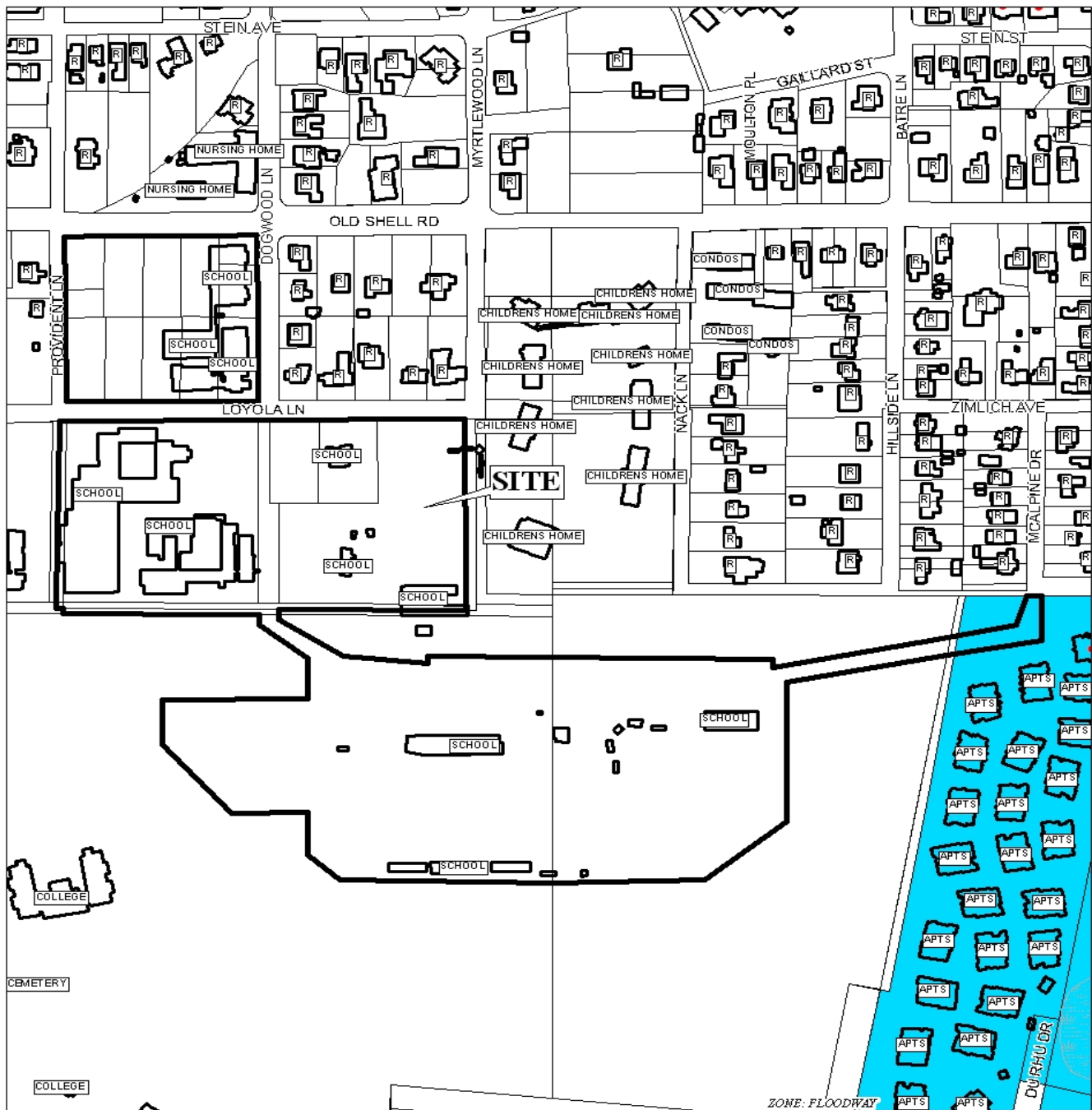
APPLICATION NUMBER 17 & 18 DATE March 18, 2010

APPLICANT St Paul's Episcopal School

REQUEST Planned Unit Development, Planning Approval



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

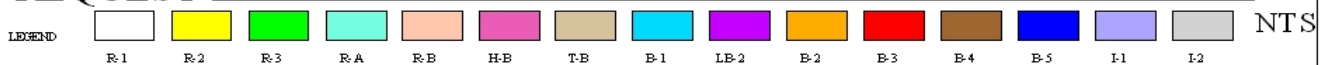


This site is surrounded by miscellaneous land use.

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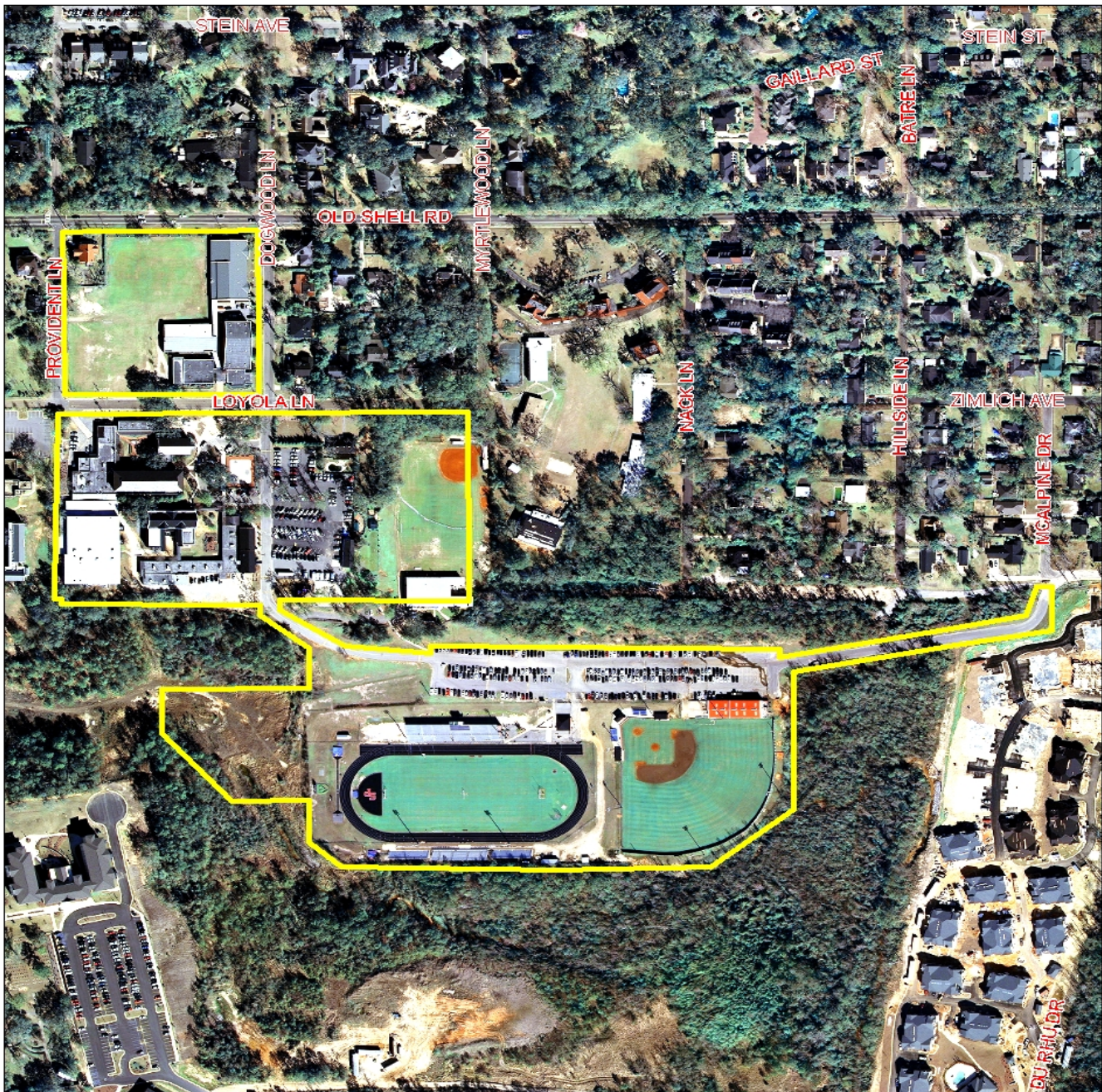
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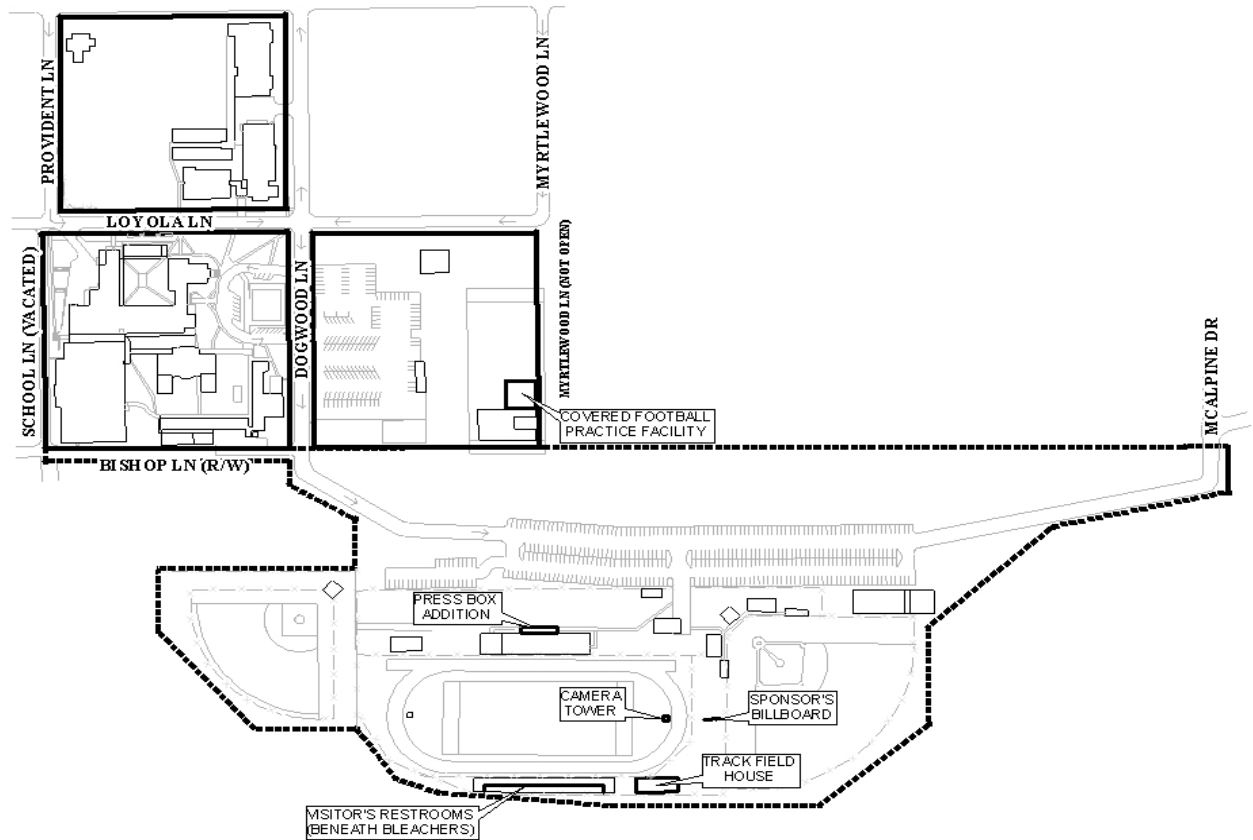
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NTS



# SITE PLAN



This site plan illustrates the proposed site improvements.

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