

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: September 21, 2006****DEVELOPMENT NAME**

Saunders Subdivision

SUBDIVISION NAME

Saunders Subdivision

LOCATION

West side of Conception Street Road, extending from Dumaine Road to Treatment Plant Road

**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

I-1, Light Industry District

AREA OF PROPERTY1 Lot / 5.6 \pm acres**CONTEMPLATED USE**

Planned Unit Development approval to allow two office/warehouse buildings on a single building site, and Subdivision approval to create one lot.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Show delineation of the AE and other flood zones on the final plat. The minimum finished floor elevation must be shown on each lot affected by the AE flood zone. If the ditch shown conveys public water, a drainage easement will be required from the top-of-bank to top-of-bank plus 15 feet on one side to allow for maintenance vehicles.

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

No comments.

REMARKS

The applicant is requesting Planned Unit Development approval to allow two office/warehouse buildings on a single building site, and Subdivision approval to create a single lot from one lot and one parcel.

The applicant proposes to construct a new office/warehouse building, and construct a new paved parking area.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts onto Conception Street Road, Dumaine Road, and Treatment Plant Road. All three roads lack curb and gutter, and all appear to have inadequate rights-of-way. Conception Street Road, as a major street, should have a right-of-way of 100 feet, or 50 feet as measured from the centerline of the roadway. Dumaine and Treatment Plant Roads are minor streets with 50-foot rights-of-way lacking curb and gutter, however, because they are dead-end streets it is recommended that the right-of-way width requirement in Section V.B.14. of the Subdivision Regulations be waived.

Access management is a concern due to Conception Street Road's status as a major street. The applicant has not proposed any direct access to Conception Street Road, and instead it appears that all access will be via Dumaine Road, with a total of three curb-cuts – two existing and one new. The site should be limited to a total of three curb-cuts, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

The property lines at the street intersection corners should be revised to comply with the requirements of Section V.D.6. of the Subdivision Regulations.

The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, is not shown on the subdivision plat or site plan. The required minimum building setback line would be required from all street frontages, thus the proposed new building would not comply with the 25-foot required setback. However, a reduction of the setback requirement along Treatment Plant Road to 10 feet may be appropriate, per the request, and the fact that a site located on the South side of Treatment Plant Road has established a reduced setback as precedence along the road. The 25-foot setback is still required along the Conception Street Road and Dumaine Road frontages.

The site is partially located in the 100-year floodplain associated with a branch of Three Mile Creek. The flood information is not graphically depicted on the subdivision plat or the site plan, thus the drawings should be revised to reflect this information per the comments provided by the Engineering Department.

The site plan depicts existing and proposed parking areas. One of the existing parking spaces appears to be partially located in the right-of-way for Dumaine Road, which is not permitted. The proposed parking area appears to depict parking for personal vehicles as well as commercial trucks. It appears that the maneuvering space within the proposed parking area may not be adequate for personal vehicles or commercial trucks. Therefore, the site plan should be revised to ensure that all required parking occurs within the subdivision boundaries, and that adequate maneuvering area is provided in the new parking lot.

It appears that 52 parking spaces for personal vehicles will be provided, which appears to be adequate (additional parking for personal vehicles may have been provided, however it appears that a line is missing in the new parking area to divide a row of parking). The applicant states that he anticipates a total of 5 warehouse personnel, thus the site will exceed the minimum required parking.

The Western portion of the site was the subject of an Administrative PUD in 1997. The only condition of approval was compliance with Section IV.E.3.a. of the Zoning Ordinance, which regards tree and landscaping requirements. Compliance with the tree and landscaping requirements of the Zoning Ordinance will also be required as part of this PUD application, and should be coordinated with Urban Forestry. The site plan should be revised to depict compliance.

There is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. The location of the storage area for the dumpster must be indicated on the site plan, and the location and required screening must comply Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

Finally, the site plan and plat are drawn to scale, yet no scale or North arrow are depicted on either drawing.

RECOMMENDATION

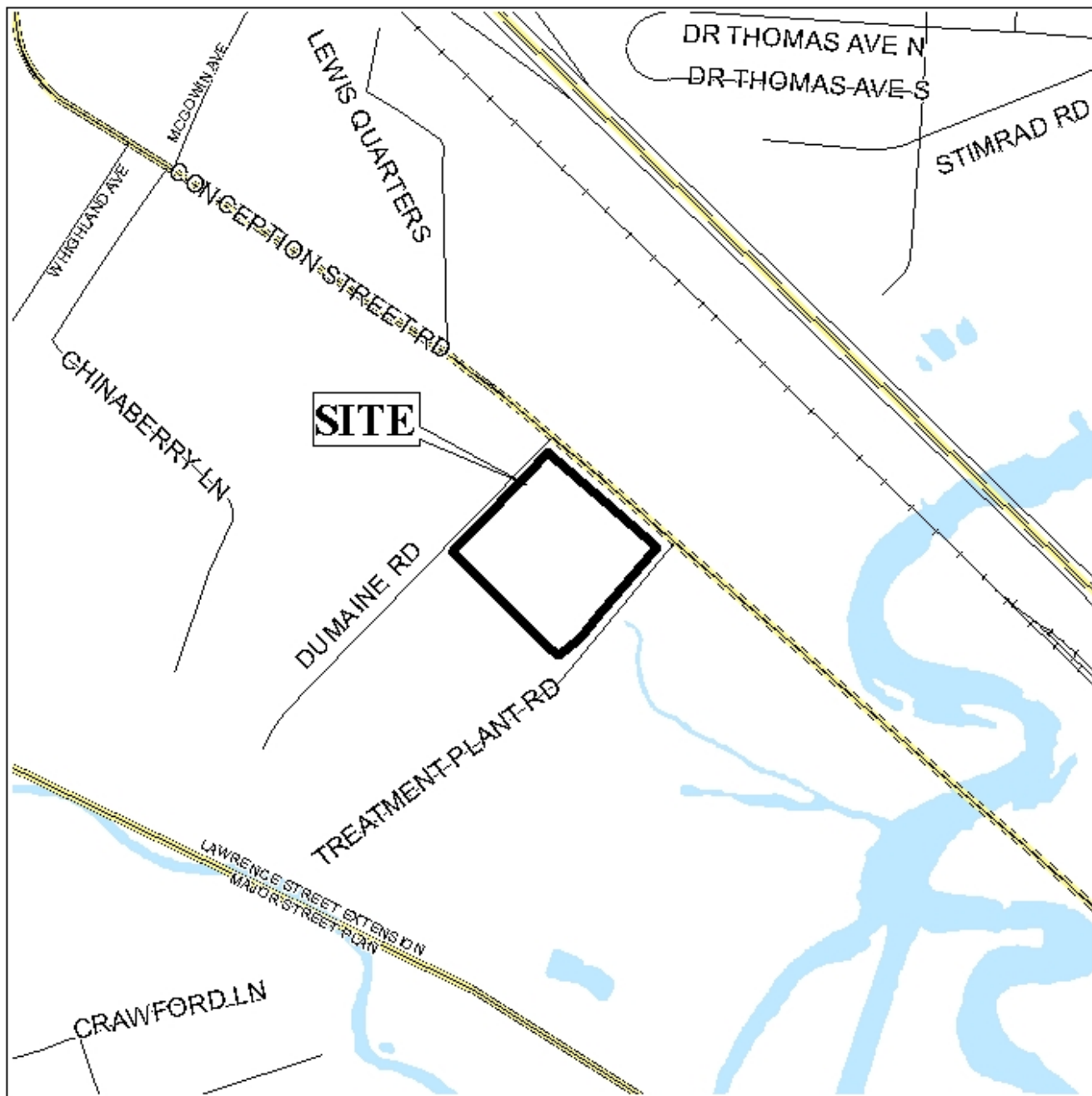
Planned Unit Development: Based on the preceding, this application is recommended for Approval, subject to the following conditions:

1) dedication of sufficient right-of-way to provide 50 feet, as measured from the centerline of Conception Street Road; 2) placement of a note on the site plan and plat stating that the site is limited to a total of three curb-cuts, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards; 3) revision of the site plan and plat to comply with Section V.D.6. of the Subdivision Regulations (intersection corners); 4) revision of the site plan and plat to reflect Engineering comments (*Show delineation of the AE and other flood zones on the final plat. The minimum finished floor elevation must be shown on each lot affected by the AE flood zone. If the ditch shown conveys public water, a drainage easement will be required from the top-of-bank to top-of-bank plus 15 feet on one side to allow for maintenance vehicles. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.*); 5) revision of the site plan to show all parking spaces as being provided within the subdivision boundaries, and revision of the site plan to show maneuvering and aisle areas in the new parking lot that comply with AASHTO standards; 6) revision of the site plan and plat to depict the required 25-foot minimum building setback line along Dumaine and Conception Street Roads, and a 10-foot minimum building setback along Treatment Plant Road; 7) revision of the site plan to depict compliance with the tree and landscaping requirements of the Zoning Ordinance; 8) depiction of any dumpster locations on the site plan; 9) revision of the site plan and plat to show a graphic scale and North arrow; 10) provision of a revised site plan to the Planning Section of Urban Development prior to the signing and recording of the final plat; 11) completion of the Subdivision process; and 12) full compliance with all other municipal codes and ordinances.

Subdivision: With a waiver of Section V.B.14. of the Subdivision Regulations regarding the right-of-way widths for Dumaine and Treatment Plant Roads, this application is recommended for Tentative Approval, subject to the following conditions: 1) dedication of sufficient right-of-way to provide 50 feet, as measured from the centerline of Conception Street Road; 2) placement of a note on the site plan and plat stating that the site is limited to a total of three curb-cuts, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards; 3) revision of the site plan and plat to comply with Section V.D.6. of the Subdivision Regulations; 4) revision of the site plan and plat to reflect Engineering comments (*Show delineation of the AE and other flood zones on the final plat. The minimum finished floor elevation must be shown on each lot affected by the AE flood zone. If the ditch shown conveys*

public water, a drainage easement will be required from the top-of-bank to top-of-bank plus 15 feet on one side to allow for maintenance vehicles. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit. The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands.); 5) revision of the plat to depict the required 25-foot minimum building setback line along Dumaine and Conception Street Roads, and a 10-foot minimum building setback along Treatment Plant Road; and 6) revision of the site plan and plat to show a graphic scale and North arrow.

LOCATOR MAP

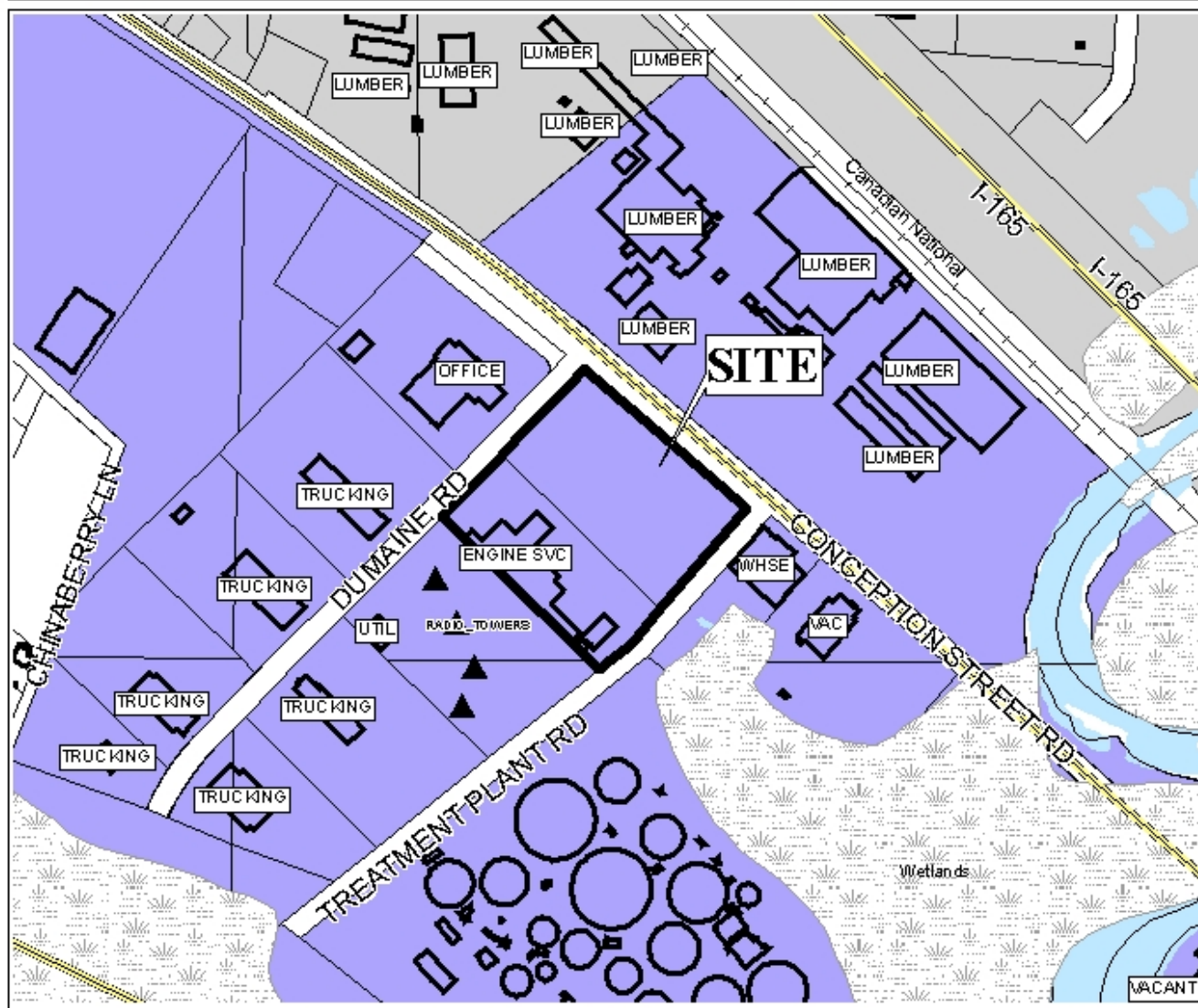


APPLICATION NUMBER 17 & 18 DATE September 21, 2006
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REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use

APPLICATION NUMBER 17 & 18 DATE September 21, 2006 N

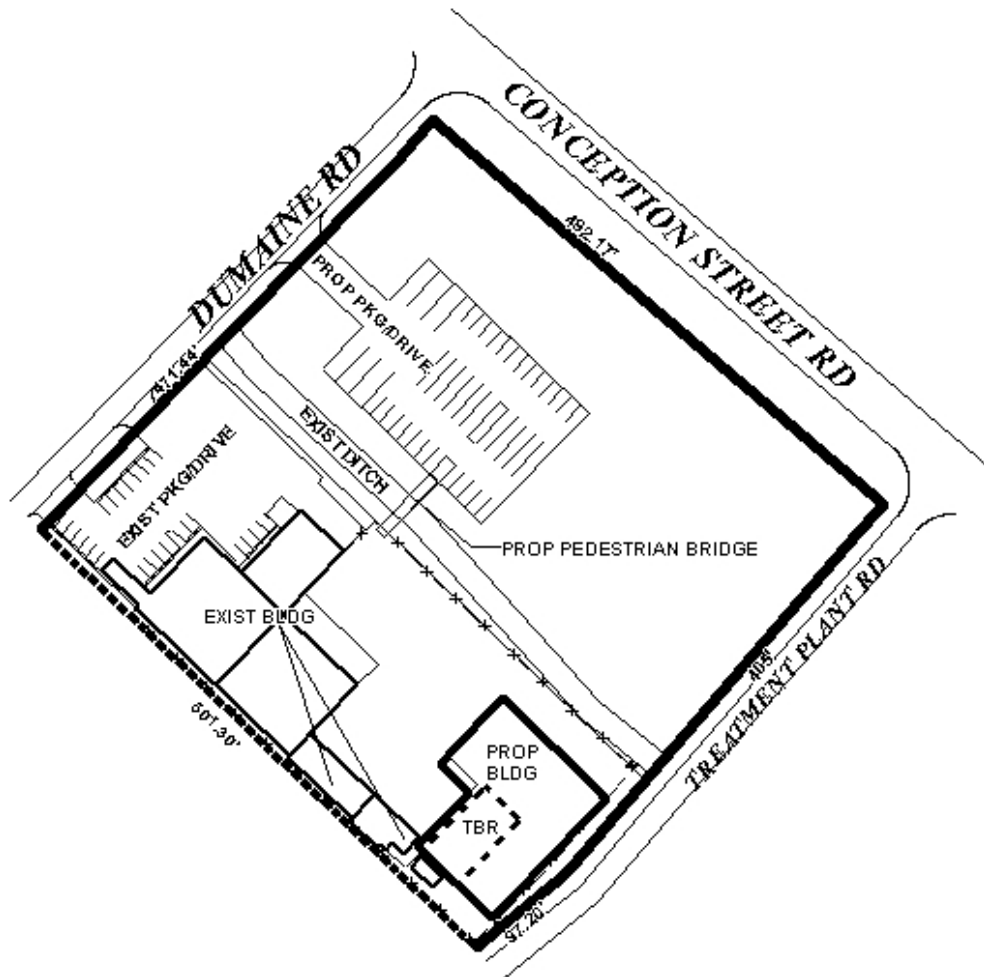
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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SITE PLAN



The site plan illustrates the existing buildings and parking along with the proposed building and parking

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NTS