

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: June 15, 2006**

DEVELOPMENT NAME Providence Park, P.O.B. West Subdivision,
Resubdivision of

SUBDIVISION NAME Providence Park, P.O.B. West Subdivision,
Resubdivision of

LOCATION 610 Providence Park Drive East (private street)
(West side of Providence Park Drive East, ¼ mile+
South of Airport Boulevard)

**CITY COUNCIL
DISTRICT** District 6

PRESENT ZONING B-3, Community Business District

AREA OF PROPERTY 13.6 ± acres for Subdivision
4.7 ± acres for PUD

CONTEMPLATED USE 3-lot commercial subdivision, and Planned Unit
Development Approval to allow shared access and parking between multiple building
sites.

**TIME SCHEDULE
FOR DEVELOPMENT** Immediate

**ENGINEERING
COMMENTS** Must comply with all stormwater and flood control
ordinances. Any work performed in the right of way will require a right of way permit.
The applicant is responsible for verifying if the site contains wetlands. The site can be
checked against the National Wetlands Inventory on the COM web site Environmental
Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm
or deny the existence of regulatory wetlands.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, size, location, and design to be
approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state
and local laws that pertain to tree preservation and protection on both city and private
properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT
COMMENTS

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

REMARKS

The applicant is requesting Subdivision approval to create three lots from one existing lot, and Planned Unit Development approval to allow shared access and parking for existing buildings on multiple building sites. Planned Unit Development approval is required to allow shared access and circulation across lots, as well as to permit shared access to the parking area.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is located on the West side of Providence Park Drive East, a private minor street with adequate right-of-way. The site is surrounded by commercially zoned properties, that are either vacant or that contain uses that support Providence Hospital, which is located East of the site. The site itself has two medical office buildings with parking, however, over half of the site is undeveloped.

The original subdivision and PUD applications for the site were approved in December 1998, and were granted several extensions. The original development plans for the site included the construction of six office buildings, however, only two have been built to date.

It appears that the new lot lines within the proposed subdivision will result in some existing surface parking being located on the proposed Lot 1, which is primarily undeveloped. The PUD application does not appear to include the proposed Lot 1, thus the preliminary plat or the site plan should be revised to either fully include the existing parking in proposed Lots 2 and 3, or the PUD application to include the proposed Lot 1 for shared access and parking across multiple building sites. It should also be noted that

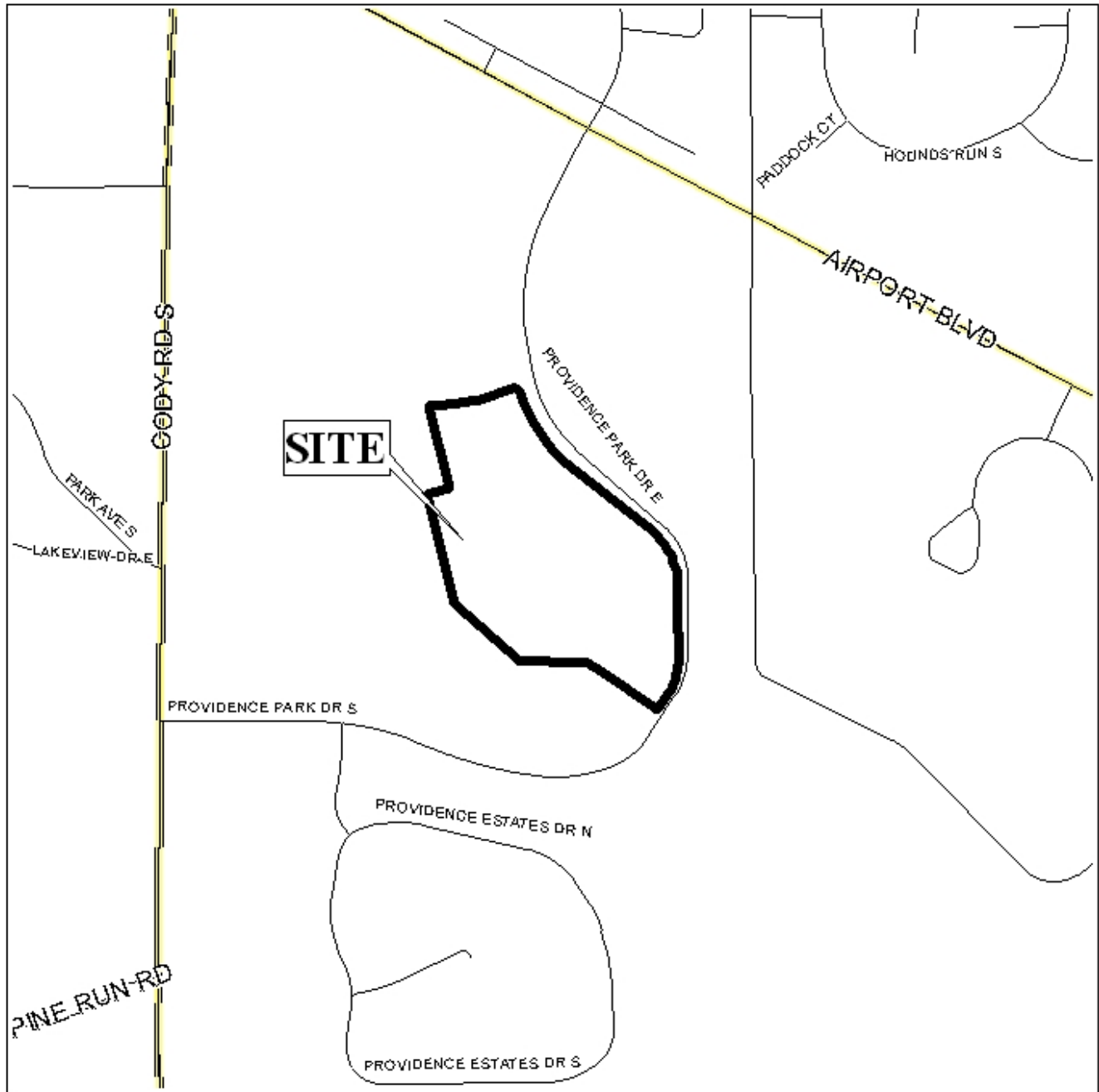
the line dividing Lots 2 and 3 appears to be drawn differently between the PUD site plan and the Subdivision plat.

The original approvals also expressed concern regarding the number of curb-cuts proposed by the development. Access management is still a concern, therefore, it is recommended that proposed Lots 2 and 3 be limited to their existing curb-cuts, and that Lot 1 be limited to one new curb-cut onto Providence Park Drive and one curb-cut onto the proposed future street on the North side of the lot. The size, design and location of all curb-cuts must be approved by Traffic Engineering and conform to AASHTO standards.

RECOMMENDATION: **Planned Unit Development:** Based on the preceding, the PUD application is recommended for Approval, subject to the following conditions: 1) revision of the site plan and plat to fully include the existing parking within the proposed Lots 2 and 3, or revision of the PUD proposal to include the proposed Lot 1, as well as revision of the lot line dividing Lots 2 and 3 to be the same on the site plan and plat; 2) completion of the Subdivision process; 3) placement of a note on the site plan and final plat stating that Lots 2 and 3 are limited to their existing curb-cuts, and that Lot 1 is limited to one new curb-cut onto Providence Park Drive and one curb-cut onto the proposed future street on the North side of the lot, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards; and 4) full compliance with all other municipal codes and ordinances.

Subdivision: Based on the preceding, the plat is recommended for Approval, subject to the following conditions: 1) revision of the site plan and plat to fully include the existing parking within the proposed Lots 2 and 3, or revision of the PUD proposal to include the proposed Lot 1, as well as revision of the lot line dividing Lots 2 and 3 to be the same on the site plan and plat; 2) placement of a note on the site plan and final plat stating that Lots 2 and 3 are limited to their existing curb-cuts, and that Lot 1 is limited to one new curb-cut onto Providence Park Drive and one curb-cut onto the proposed future street on the North side of the lot, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards; and 3) full compliance with all other municipal codes and ordinances.

LOCATOR MAP

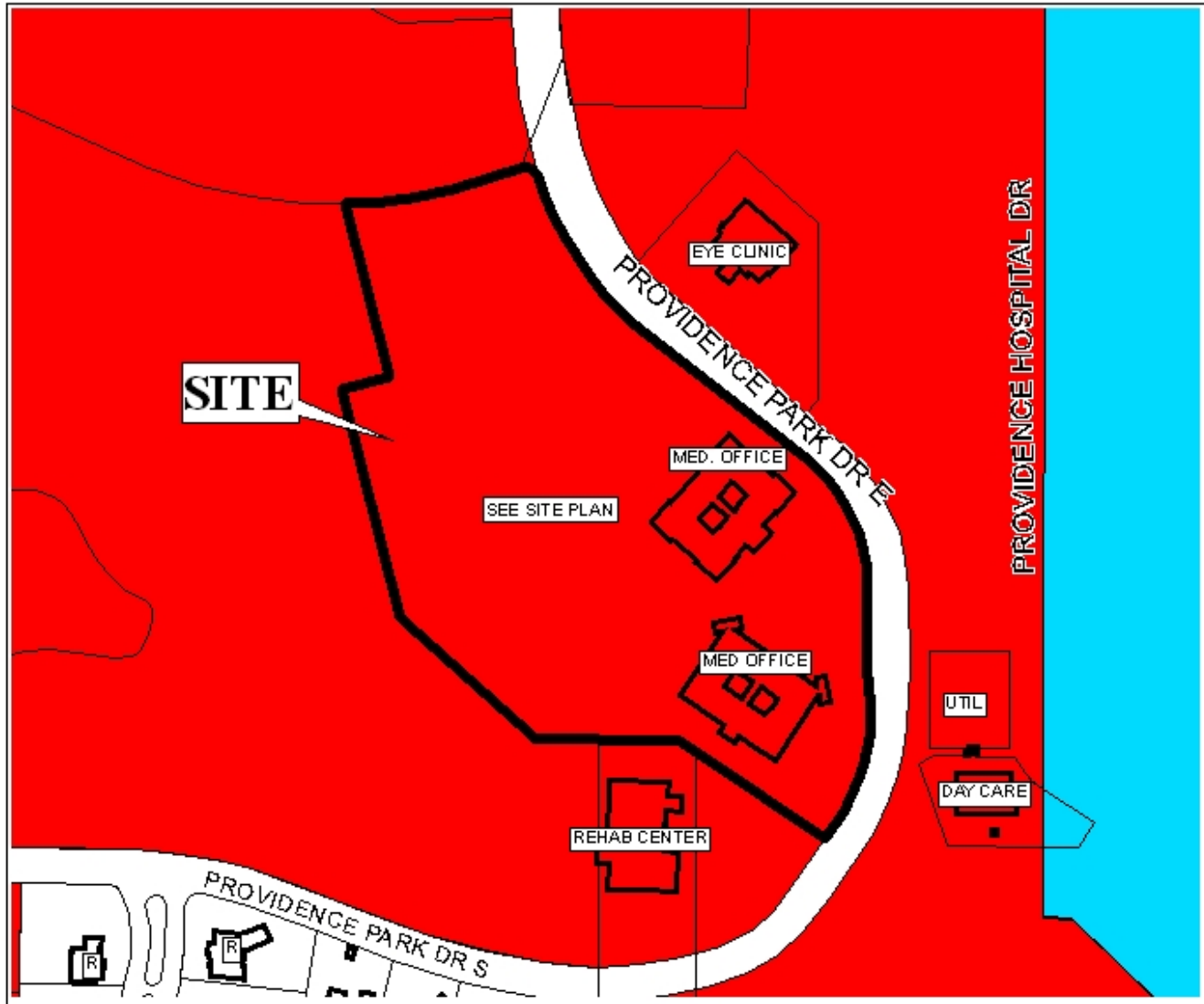


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REQUEST Planned Unit Development, Subdivision



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Medical facilities are located to the east and south of the site.
Single-family residential units are located to the south of the site.

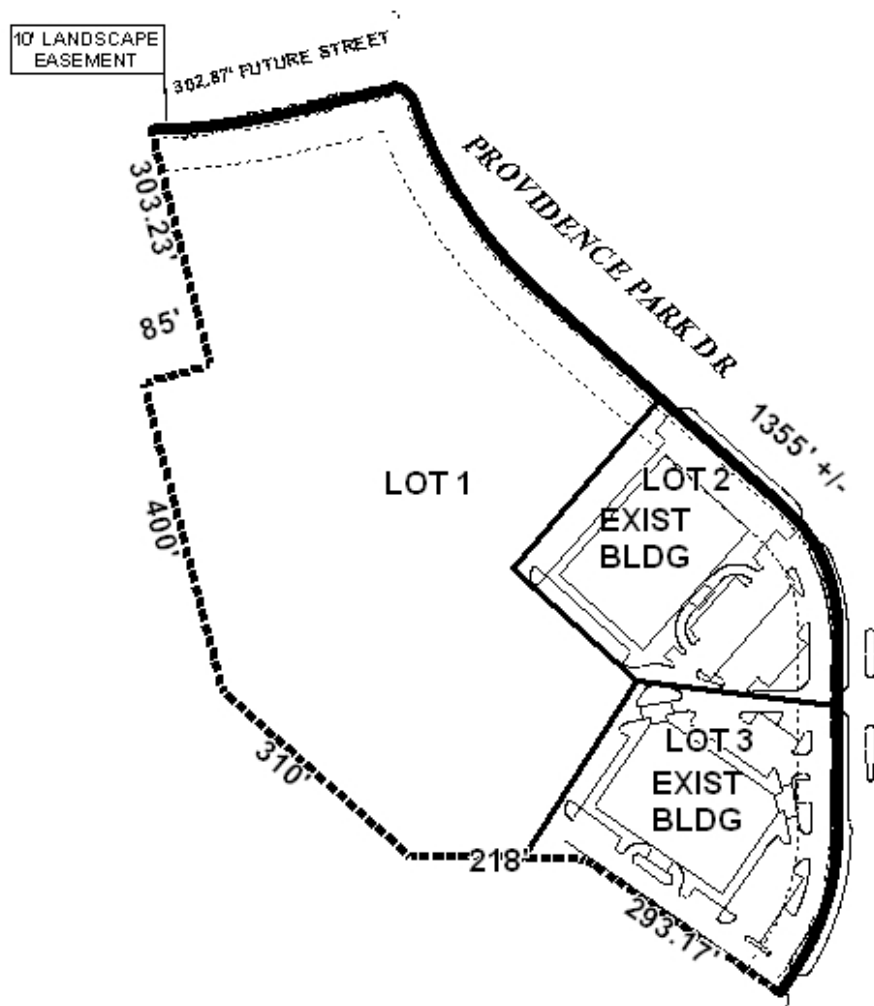
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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SITE PLAN



The site plan illustrates the existing buildings, parking, and the proposed lot configuration

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