

**PLANNED UNIT DEVELOPMENT &
PLANNING APPROVAL STAFF REPORT****Date: February 5, 2009****NAME**

Mobile Carnival Association

LOCATION

South side of Bloodgood Street at its West terminus

**CITY COUNCIL
DISTRICT**

District 2

PRESENT ZONING

B-4, General Business District

AREA OF PROPERTY

1 Lot / 0.5 ± Acres

CONTEMPLATED USE

Planning Approval to allow a float barn in a B-4, General Business District, and Planned Unit Development Approval to allow two buildings on a single building site.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**

Show Minimum FFE on plat. No fill allowed without an approved Flood Study. Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planning Approval to allow a float barn in a B-4, General Business District, and Planned Unit Development Approval to allow

two buildings on a single building site. Planning Approval is required for float decoration/construction and storage in B-4 districts.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the Planning Approval and PUD review are site plan specific; therefore *any* future changes to the overall site plan must be resubmitted for PUD and Planning Approval review by the Planning Commission.

The applicant proposes to utilize two existing structures for float barns: no improvements appear to be proposed for the site. The larger structure is 5,000 square feet in size, and the smaller structure is 2,000 square feet. Aerial photographs from 2006 depict the site as unpaved.

The site is located at the Western terminus of Bloodgood Street, across from property owned by the Mobile Housing Board and that will be redeveloped utilizing a Hope VI Grant from the US Department of Housing and Urban Development. South of the site are various commercial uses fronting onto Beauregard Street. The site is entirely within the 100-year floodplain for Three Mile Creek, and is next to a tidally-influenced tributary of the creek.

The Zoning Ordinance does not specifically define parking requirements for a float barn, but a reasonable interpretation utilizing office/warehouse parking requirements could be assumed. The required parking ratio would be 1 space per 300 square feet of office area, and 1 space per three warehouse employees. No information was provided, however, regarding the amount of office space versus warehouse space, and no information was provided regarding the number of warehouse employees. It is understood by staff that day to day use of the site may not occur, due to the seasonal nature of Mardi Gras, however, it would seem reasonable to expect some accommodation for vehicular parking as well as some level of improvement of the site to meet the tree and landscape requirements of the Zoning Ordinance. The applicant should either revise the site plan to depict compliance with the requirements of the Zoning Ordinance, or should apply for parking surfacing, maneuvering variances as well as a variance regarding compliance with the tree and landscape requirements.

If the site will be illuminated at night, lighting shall comply with the requirements of Section 64-4.A.2. of the Zoning Ordinance, which states that “*lighting facilities used to illuminate signs, parking areas, or for other purposes shall be so arranged that the source of light does not shine directly into adjacent residence properties or into traffic.*”

RECOMMENDATION

Planned Unit Development: Based upon the preceding, the application is recommended for Holdover until the March 5 meeting, with revisions submitted by February 17, to allow the applicant to undertake the following:

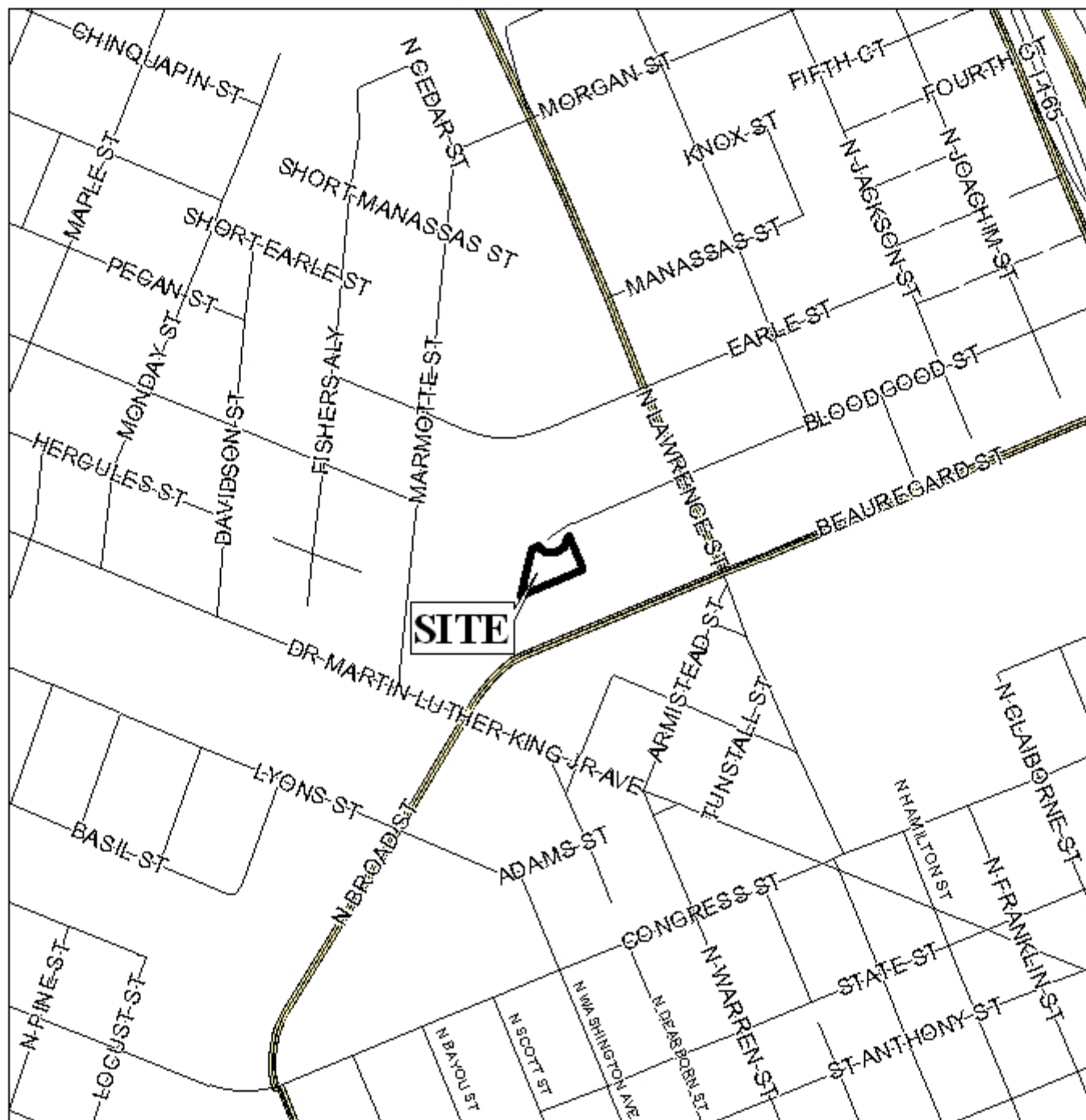
- 1) Compliance with Engineering comments (*Show Minimum FFE on plat. No fill allowed without an approved Flood Study. Must comply with all storm water and flood control ordinances. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit.*)
- 2) Revision of the site plan to indicate the amount of office space in each structure in square feet, and the number of warehouse employees;
- 3) Revision of the site plan to depict paved maneuvering and parking, with parking adequate to serve the existing office space within the buildings, and at minimum one additional space for the warehouse area (more if required by the number of warehouse employees);
- 4) Revision of the site plan to depict compliance with the tree and landscaping requirements of the Zoning Ordinance;
- 5) Placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development approval prior to the issuance of any permits;
- 6) Placement of a note on the site plan stating that the site will be illuminated in accordance with the requirements of Section 64-4.A.2. of the Zoning Ordinance; and
- 7) Placement of a note on the site plan stating that the site is limited to the existing curb-cut onto Bloodgood Street, with any change in the size, design or location of the curb-cut to be approved by Traffic Engineering and be in compliance with AASHTO standards.

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LOCATOR MAP



APPLICATION NUMBER 17 & 18 DATE February 5, 2009

APPLICANT Mobile Carnival Association

REQUEST Planning Approval, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



There is a warehouse to the east of the site, vacant land to the north and west, and a school and auto sales to the south.

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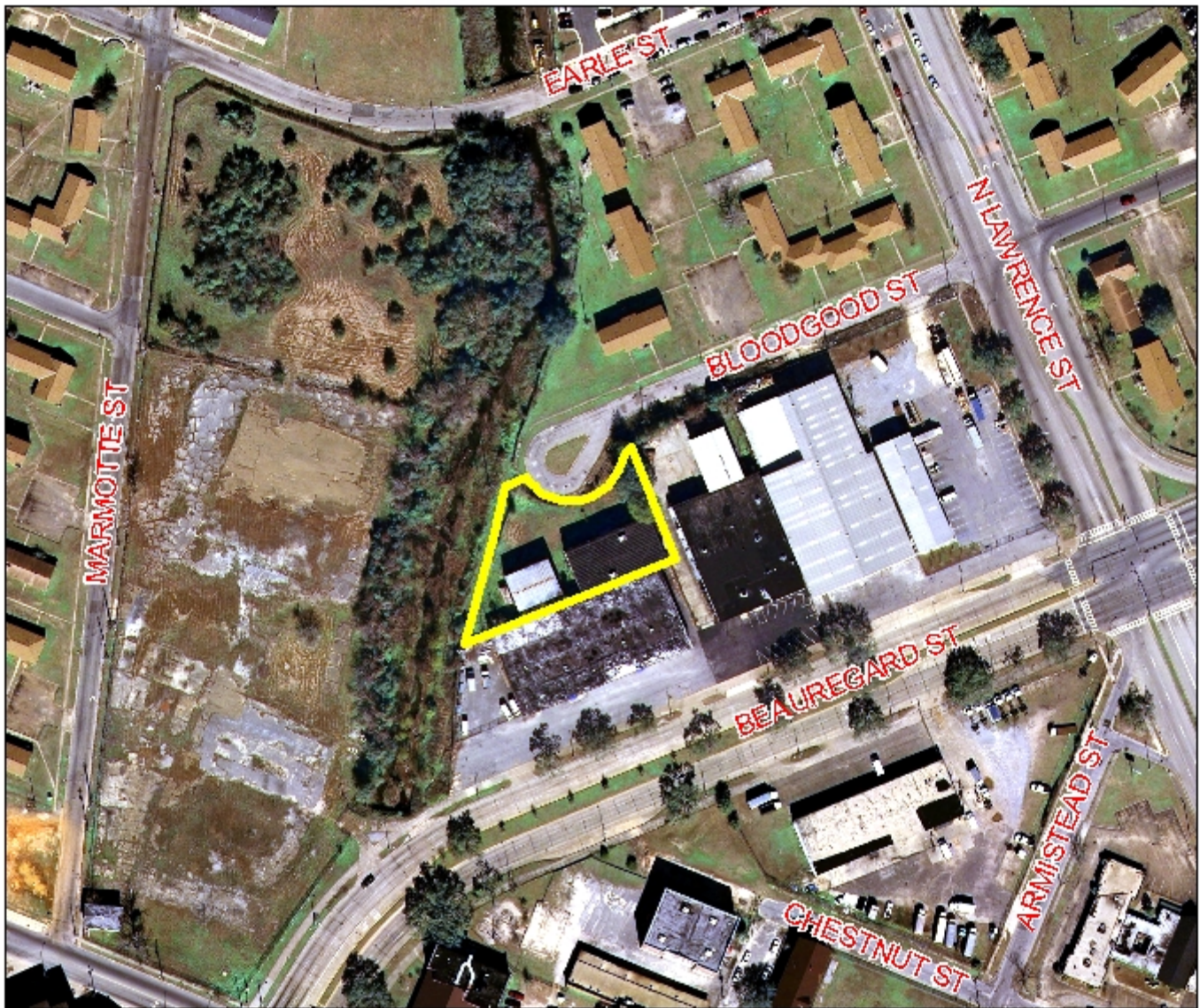
LEGEND

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|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
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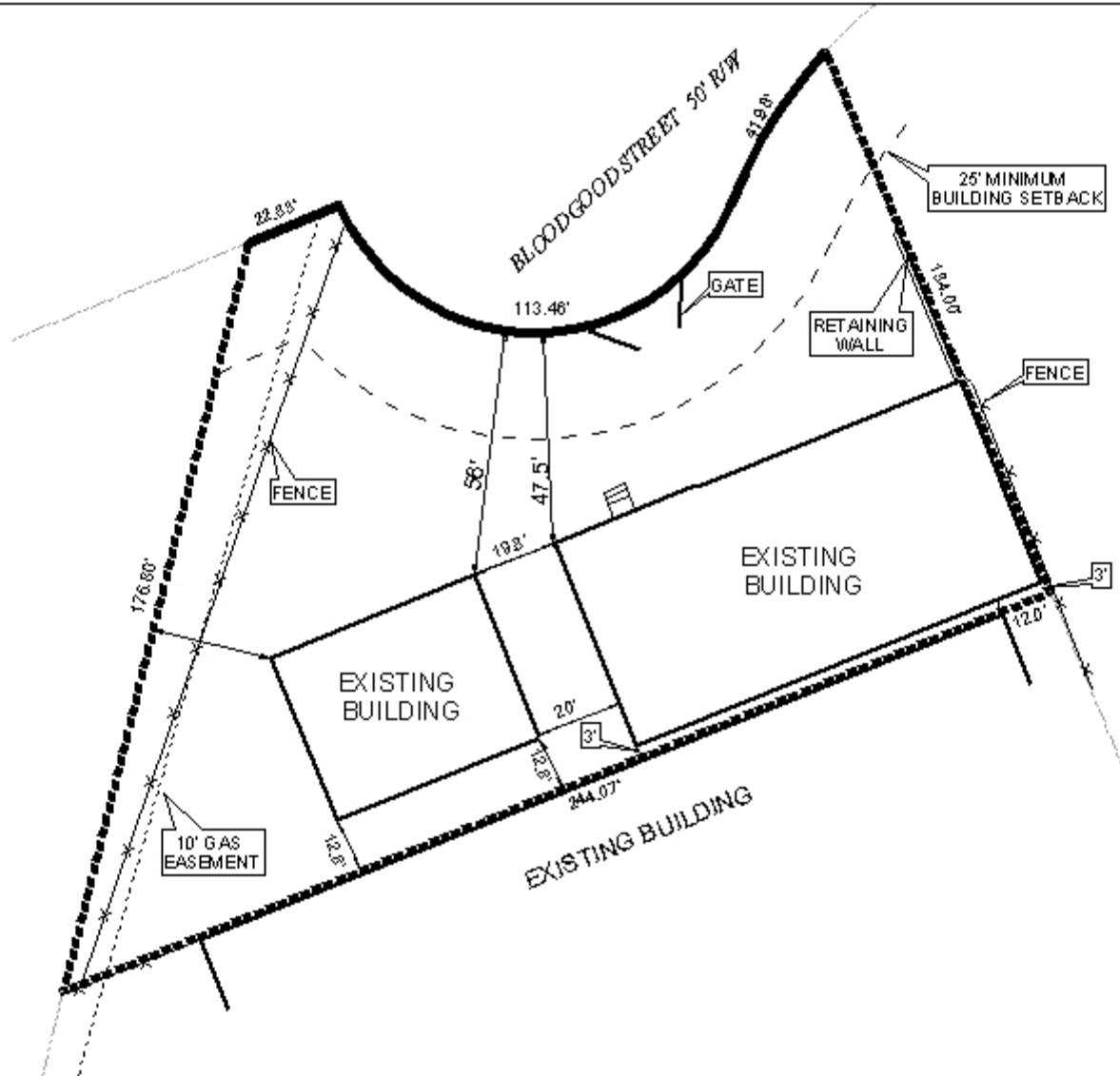


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SITE PLAN



The site plan illustrates the existing buildings, easements, building setbacks, retaining wall, and fences.

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