

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: December 3, 2009****NAME**

United Rentals

**LOCATION**

1413 Montlimar Court  
Northeast corner of Montlimar Court and Montlimar Drive,  
extending to the Southeast corner of Montlimar Drive and  
Pleasant Valley Road

**PRESENT ZONING**

B-3, Community Business District

**ENGINEERING**

Applicant did not provide any information showing that a  
City standard sidewalk could not be constructed.

**URBAN FORESTRY****COMMENTS**

None received

**REMARKS**

The applicant is requesting a waiver of the requirement of  
construction of sidewalks along Montlimar Drive and Pleasant Valley Road.

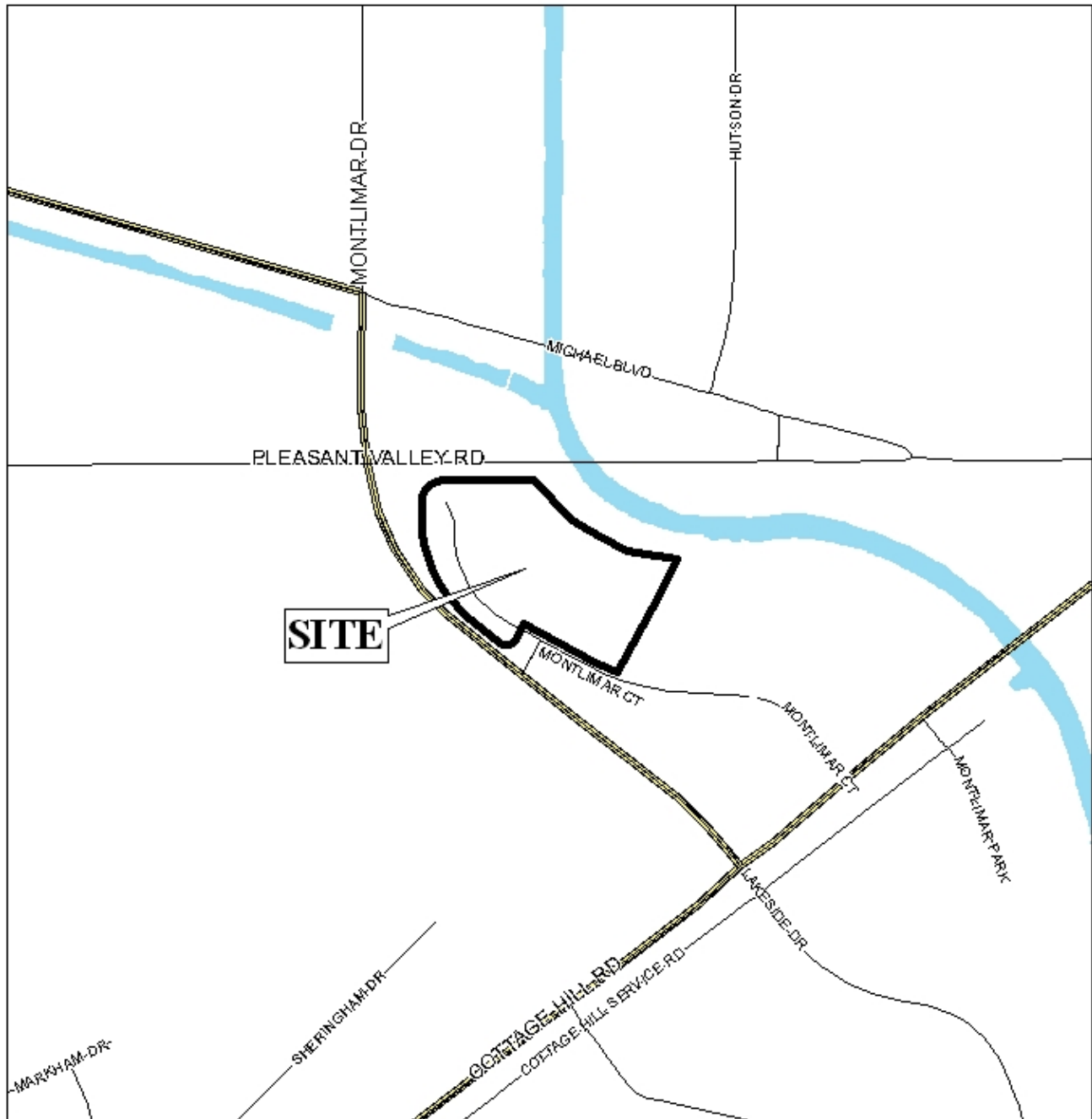
The sidewalk waiver site is located in a primarily commercial and industrial area. The applicant only states that the Pleasant Valley sidewalk would dead end into Montlimar Creek, and that a Montlimar Drive sidewalk would be hazardous due to fast moving traffic. The applicant's assertion that a Montlimar Drive sidewalk is hazardous is suspect due to the large amount of empty right-of-way between the sidewalk and the roadway. Further, staff also asserts that there is an even greater necessity for sidewalks along roads that include, according to the applicant, "heavy and fast moving traffic."

City of Mobile aerial photos and GIS data show that sidewalks already exist in the immediate area of the site, as well as sidewalks on the opposite side of Montlimar Drive. Additionally, City of Mobile Engineering states that the applicant failed to illustrate a reason as to why a city standard sidewalk could not be constructed at this location.

**RECOMMENDATION**

Based upon the preceding, this application for waiver of the  
sidewalk along Montlimar Drive and Pleasant Valley Road is recommended for denial.

# LOCATOR



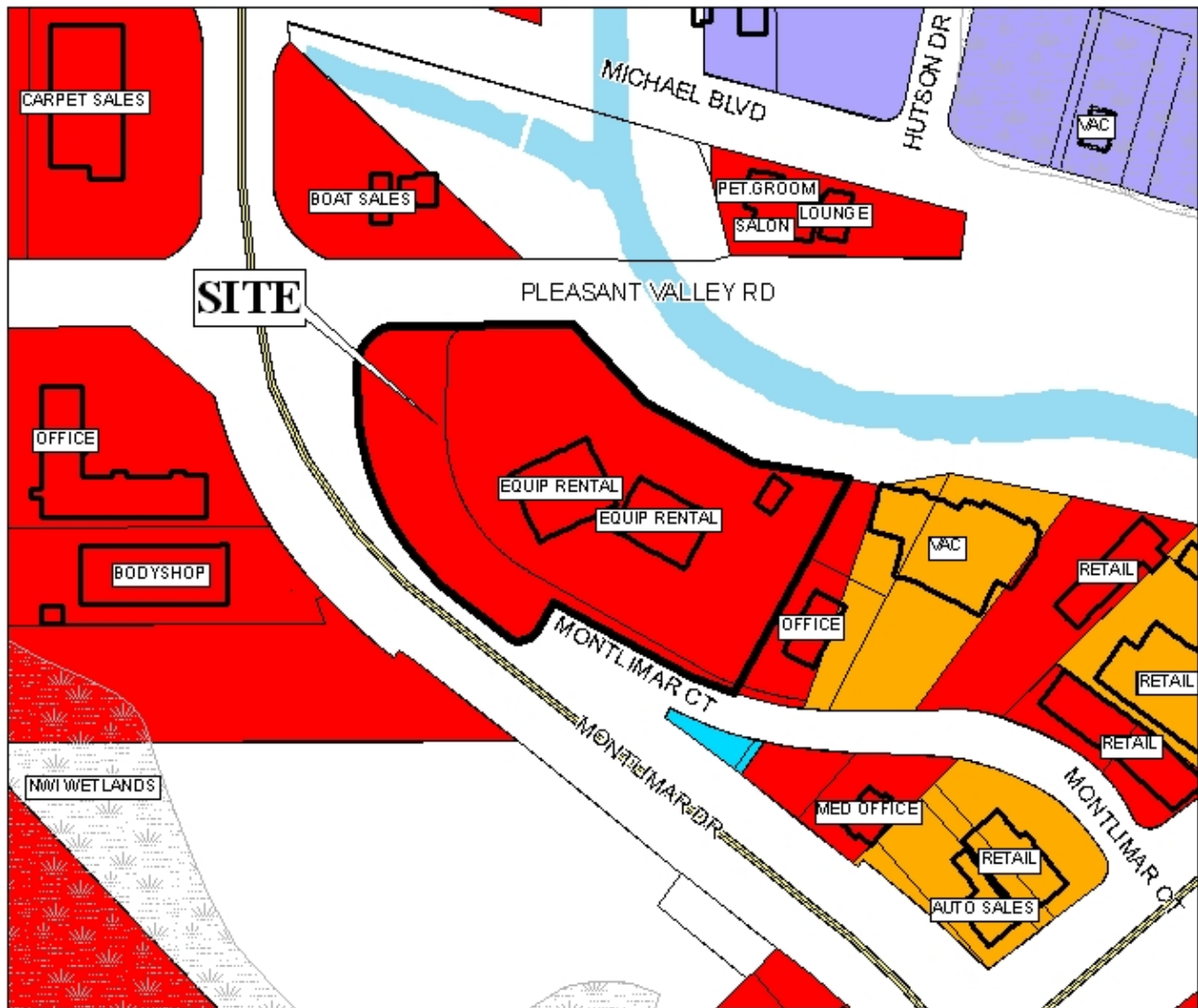
APPLICATION NUMBER 16 DATE December 3, 2009

APPLICANT United Rentals

REQUEST Sidewalk Waiver



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surround by miscellaneous land use.

APPLICATION NUMBER 16 DATE December 3, 2009

APPLICANT United Rentals

REQUEST Sidewalk Waiver

LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----	-----

## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by miscellaneous land use.

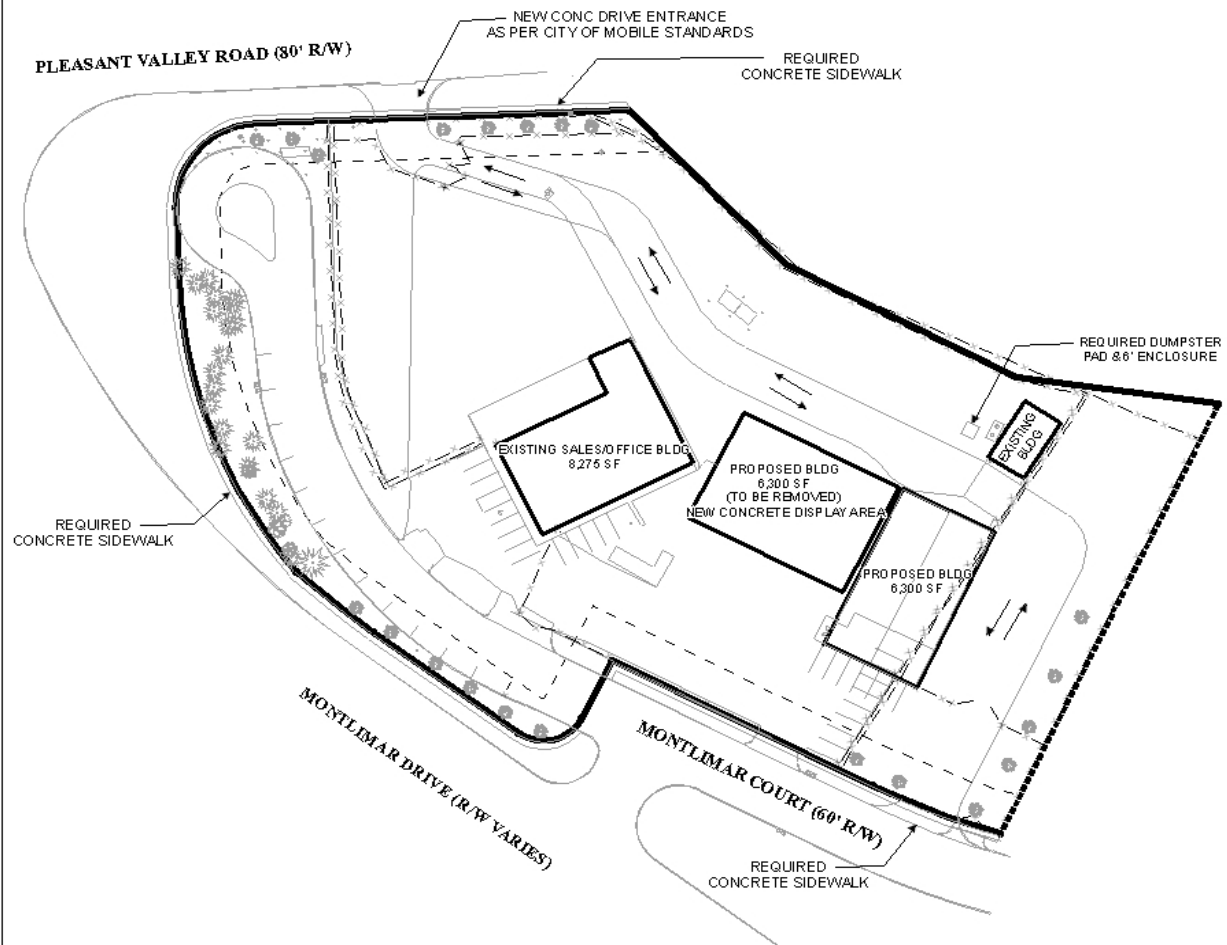
APPLICATION NUMBER 16 DATE December 3, 2009

APPLICANT United Rentals

REQUEST Sidewalk Waiver



# SITE PLAN



This site plan illustrates the existing lot configuration and sidewalk location.  
See detail site plan for sidewalk cross section.

APPLICATION NUMBER 16 DATE December 3, 2009

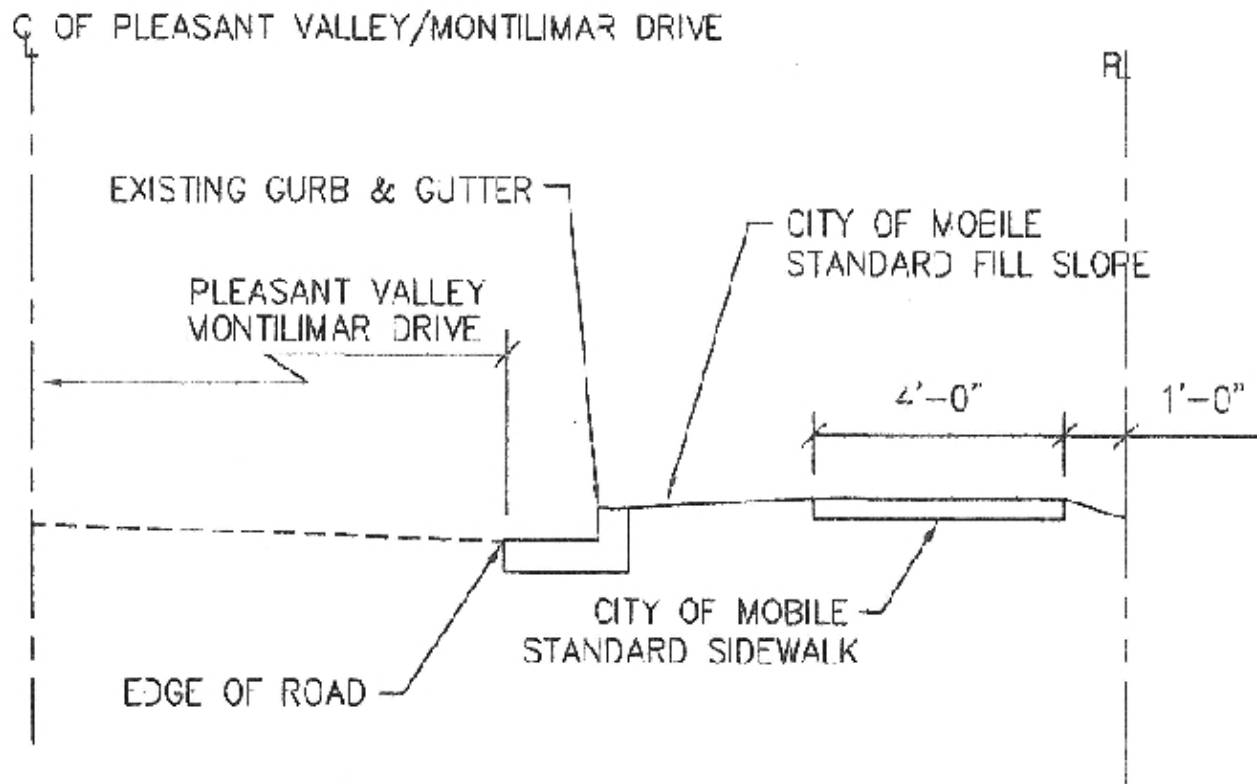
APPLICANT United Rentals

REQUEST Sidewalk Waiver



NTS

## DETAIL SITE PLAN



### TYPICAL CROSS SECTION

APPLICATION NUMBER 16 DATE December 3, 2009

APPLICANT United Rentals

REQUEST Sidewalk Waiver

N  
NTS