

TURTLE CREEK SUBDIVISION, **PHASE THREE**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: No comments.

The plat illustrates the proposed 57 lot, 28.2 ± acre subdivision which is located at the Southeast corner of Repoll Road and Richmond Pearson Road. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to modify a previously approved, and since expired, phase of a subdivision. The original subdivision was approved in 2005, and Phases One and Two have been recorded. This application reflects some changes to the originally approved subdivision, namely as it relates to the street and lot layouts.

The site fronts Repoll Road and Richmond Pearson Road, both minor streets with adequate rights-of-way. The roads within the subdivision will connect to existing roads in Phases One and Two, and to Richmond Pearson Road. All proposed roads appear to meet minimum dimensional requirements with the exception of the cul-de-sac: the length of the cul-de-sac exceeds that recommended by the Subdivision Regulations, and the diameter of the cul-de-sac is below the recently amended minimum requirement of 120-feet. A waiver of Section V.B.6. of the Subdivision Regulations for length may be appropriate, subject to approval in writing by Mobile Fire-Rescue, and if the diameter of the cul-de-sac is revised to meet the new requirements of the Subdivision Regulations (which comply with the 2003 International Fire Code, as adopted by the City of Mobile).

Multiple lots will have frontage on Repoll Road, Richmond Pearson Road, and new streets within the subdivision. All lots should be denied direct access to both Repoll Road and Richmond Pearson Road. Furthermore, all lots within the development should be limited to one curb-cut each, with the size, design and location to be approved by County Engineering.

Development of the site will require the construction of new streets. All roads must be built to County and the City's adopted International Fire Code standards and accepted by the County, prior to the recording of the final plat.

Common areas, including detention common areas are proposed for the site. Notes are on the preliminary plat stating that maintenance shall be the responsibility of the property owners: the notes regarding the common areas, including the detention area, should also appear on the final plat.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note on preliminary plat reflects this requirement, and should also appear on the final plat.

The 25-foot minimum building setback is shown and labeled on the plat and should also be depicted on the final plat. The lot size information on the preliminary plat should also be retained for the final plat.

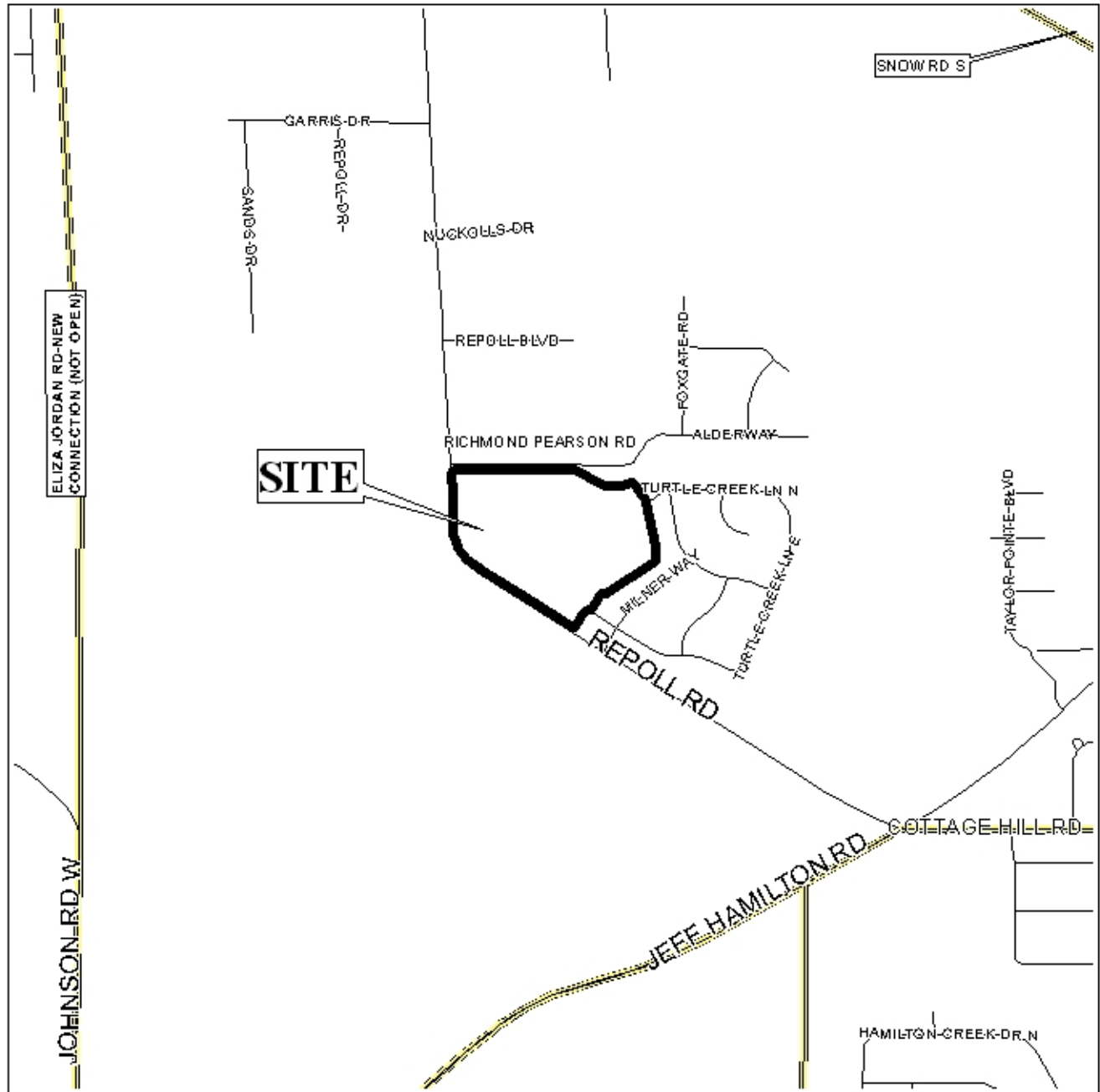
This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations. The note regarding this requirement should also appear on the final plat.

The site will have to comply with the City of Mobile storm water and flood control ordinances. The note on the preliminary plat regarding this requirement should also appear on the final plat. The storm water detention system and best management practices for erosion and sediment control should be in place early in the site development process.

With a waiver of Section V.B.6. of the Subdivision Regulations, subject to Mobile Fire-Rescue's approval in writing (letter or signature on plat), the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the plat to depict the correct diameter for the cul-de-sac;
- 2) Construction of all streets to Mobile County and the City's 2003 International Fire Code standards, and acceptance of the streets by Mobile County prior to the recording of the final plat;
- 3) Placement of a note on the final plat stating that all lots are denied direct access to Repoll Road and Richmond Pearson Road;
- 4) Placement of a note on the final plat stating that each lot is limited to one curb-cut, with the size, design and location to be approved by Mobile County Engineering;
- 5) Use of "best management practices" during site development, in compliance with Section V.A.5. of the Subdivision Regulations, to minimize erosion and sedimentation during site development; and
- 6) Retaining of notes on the plat relating to common area maintenance, endangered/threatened species, buffering of commercial development, storm water compliance, wetlands, minimum building setback, and lot size information.

LOCATOR MAP



APPLICATION NUMBER 16 DATE May 15, 2008

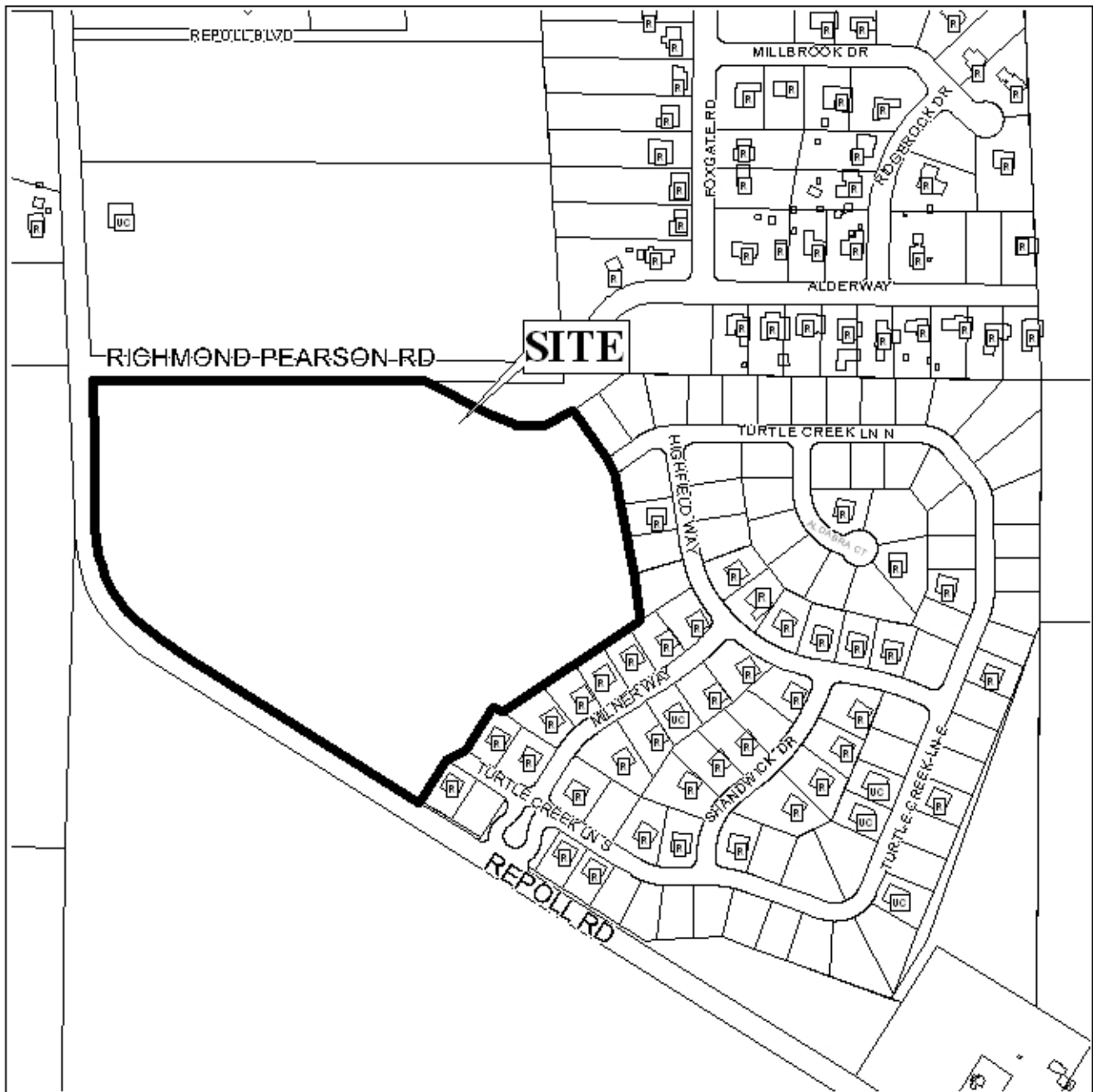
APPLICANT Turtle Creek Subdivision, Phase Three

REQUEST Subdivision



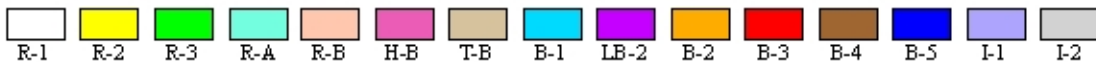
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TURTLE CREEK SUBDIVISION PHASE THREE



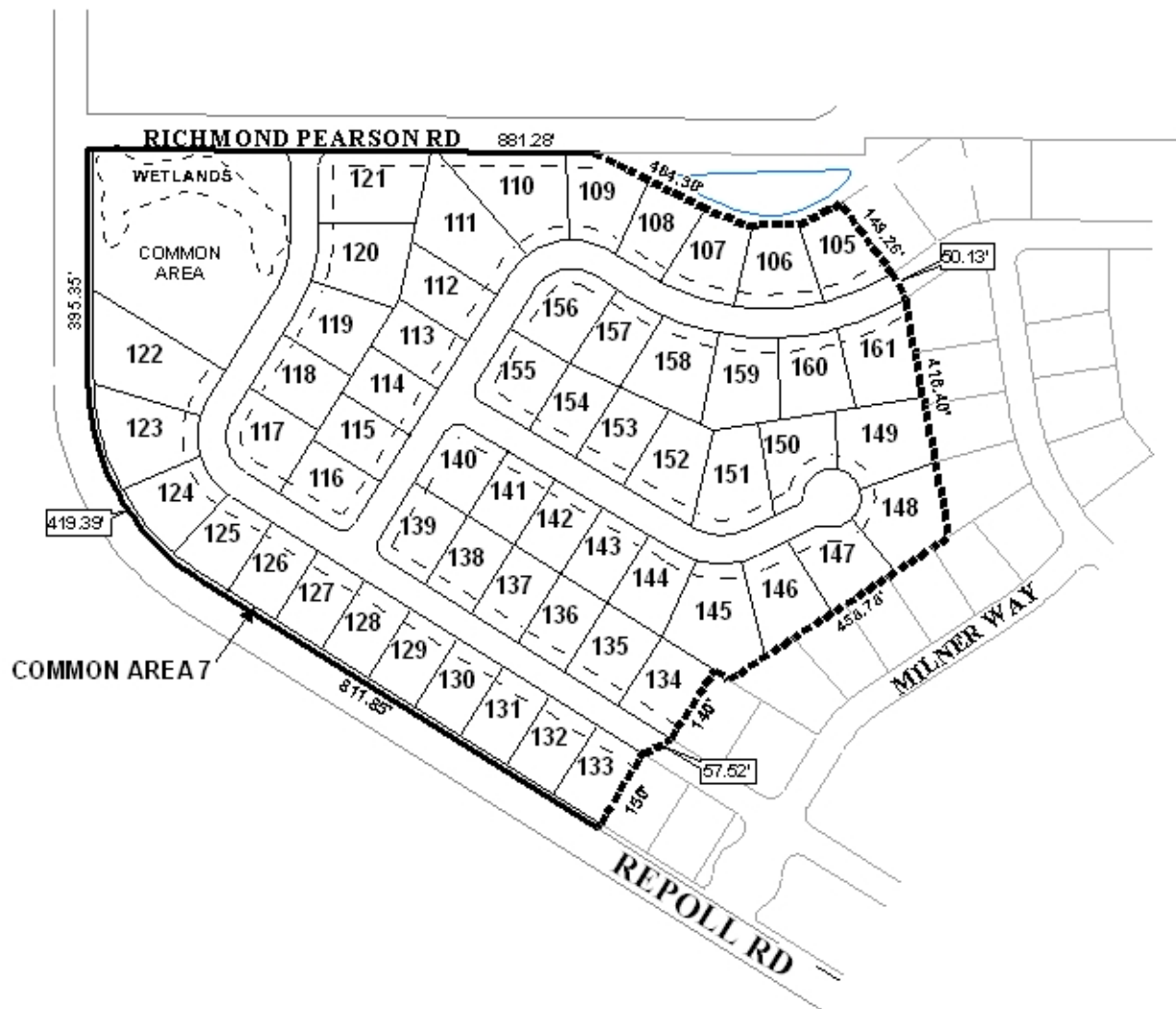
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LEGEND



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DETAIL SITE PLAN



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APPLICANT Turtle Creek Subdivision, Phase Three
REQUEST Subdivision



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