

SOLLIE OAKS SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed four lot, 66.5± acre subdivision which is located at the Southwest corner of Sollie Road and Halls Mill Creek. The site is served by public water and individual septic systems.

The purpose of the application is to subdivide a large tract of property into four lots.

The site contains wetlands and adjoins Halls Mill Creek and as such the area may be considered environmentally sensitive; therefore, the approval of all federal state and local agencies would be required.

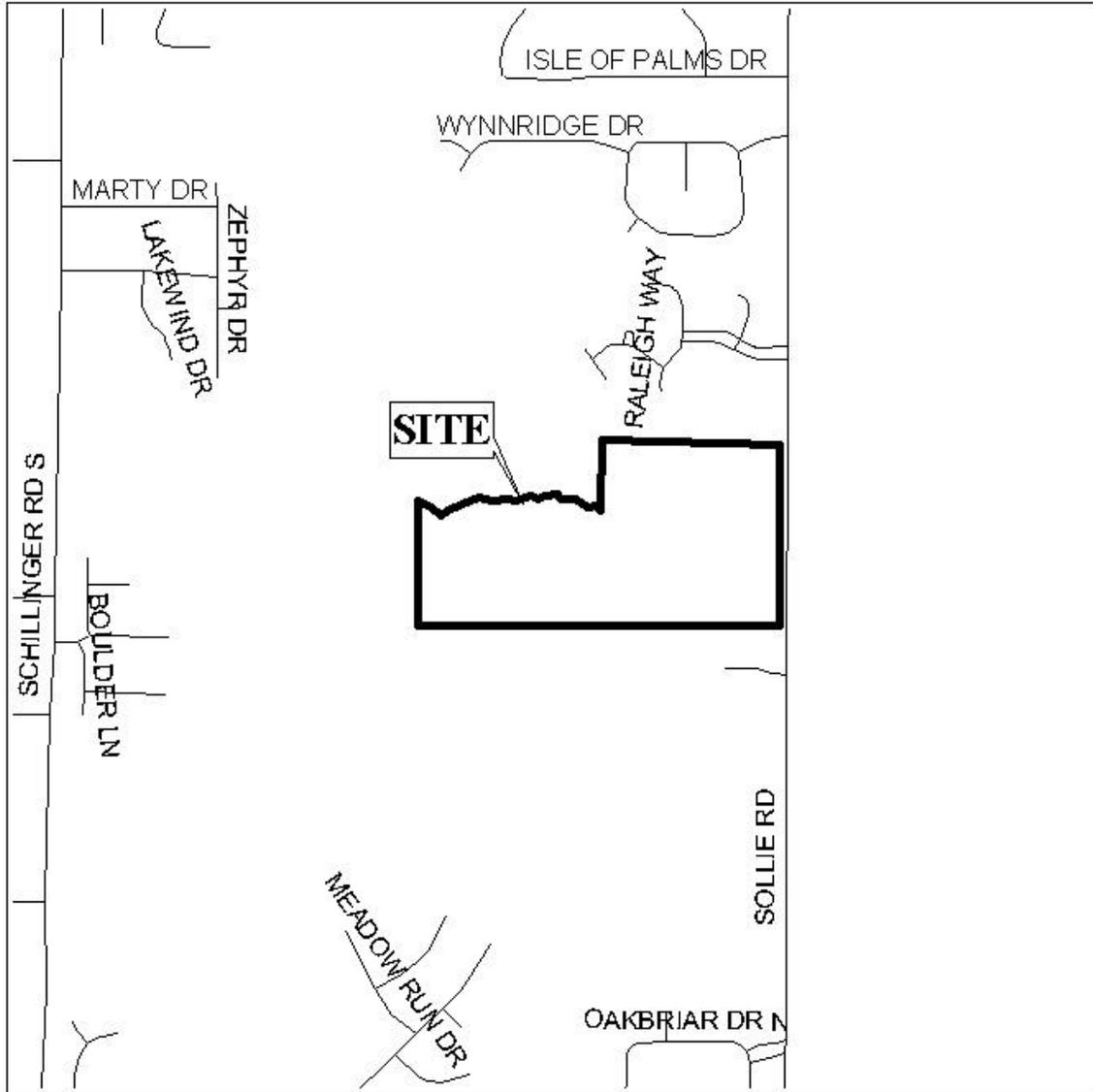
The plat illustrates two-flag shaped lots, which are characteristic along a waterway; moreover, the buildable area of the two flag lots is reduced by the wetlands and flood zones crossing the property.

The site fronts Sollie Road, a planned major street, and the dedication of adequate right-of-way is provided; and as a means of access management, Lots 3 and 4 should be limited to one curb cut each to Sollie Road. It should be noted the proposed Girby Road Extension embraces a portion of Lot 4 and as such the provision of an adequate setback to provide for the future right-of-way of the planned major street should be required. Additionally, as Lots 1 and 2 have only 25-feet of street frontage, these lots should be required to share one common curb cut to Sollie Road.

As the site is located in the County, a note should be required on the final plat which states that if the property is developed commercially and adjoins residentially developed property, a buffer, in compliance with Section V.A.7., will be provided.

With modifications and a waiver of Section V.D.3. (width to depth ratio), the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of the necessary right-of-way to provide 50-feet from the centerline of Sollie Road, a planned major street; 2) placement of a note on the final plat stating that Lots 3 and 4 are limited to one curb cut each to Sollie Road; 3) placement of a note on the final plat stating that Lots 1 and 2 are required to share one common curb cut to Sollie Road; 4) provision of an adequate setback to provide for Girby Road Extension (including the required 25-foot building setback); and 5) placement of a note on the final plat stating that if any property is developed commercially and adjoins residentially developed property, a buffer in compliance with Section V.A.7. will be provided.

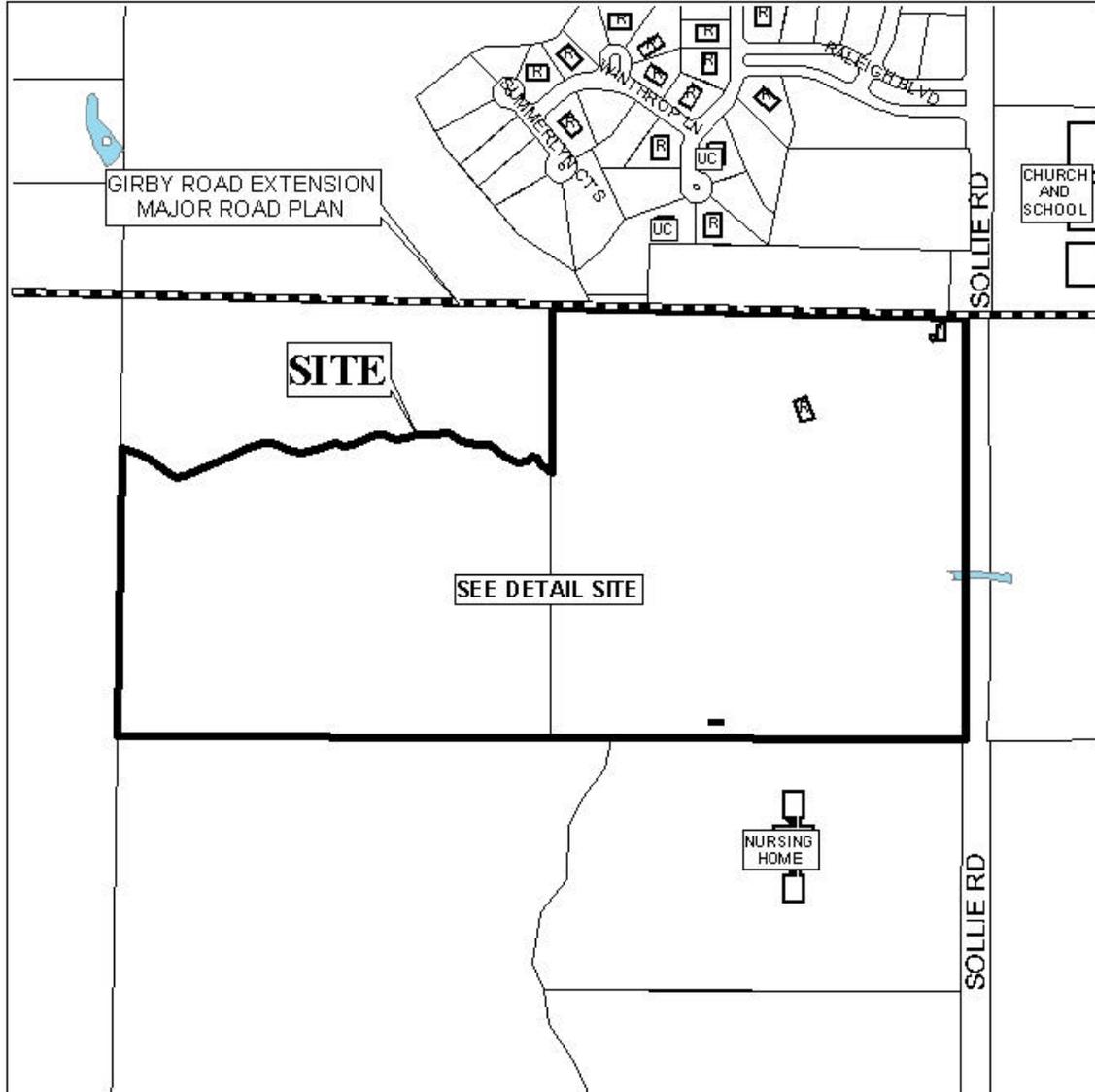
LOCATOR MAP



APPLICATION NUMBER 16 DATE April 17, 2003
APPLICANT Sollie Oaks Subdivision
REQUEST Subdivision



SOLLIE OAKS SUBDIVISION

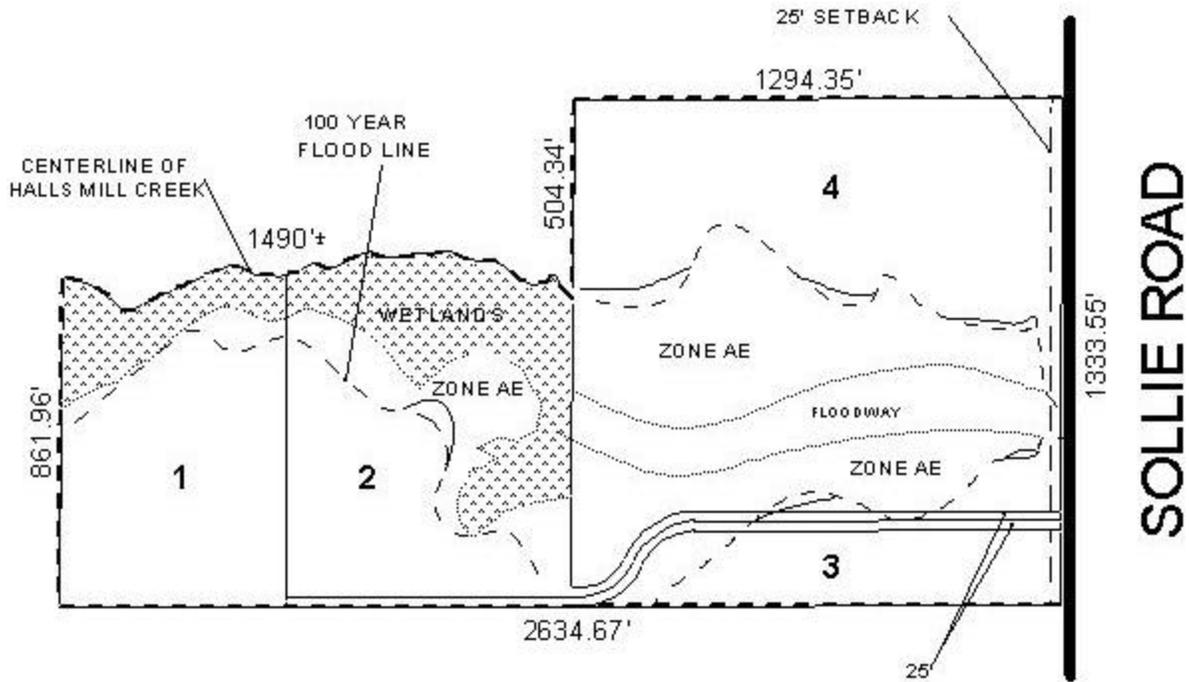


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LEGEND



DETAIL SITE PLAN



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APPLICANT Sollie Oaks Subdivision

USE/REQUEST Subdivision

