

SHAIKH SUBDIVISION

Engineering Comments: It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: No MAWSS comments

The plat illustrates the proposed 0.7± acre, one lot subdivision, which is located on the North side of Midmost Drive, 460'± East of Downtowner Loop West, in City Council District 5. The subdivision is served by city water and sanitary facilities.

The purpose of this application is to combine one legal lot of record and a portion of another legal lot into one lot.

The proposed lot contains a portion of Lot 15, Downtown West, Unit Two; therefore, the plat should be revised to include the remainder of Lot 15 in the subdivision.

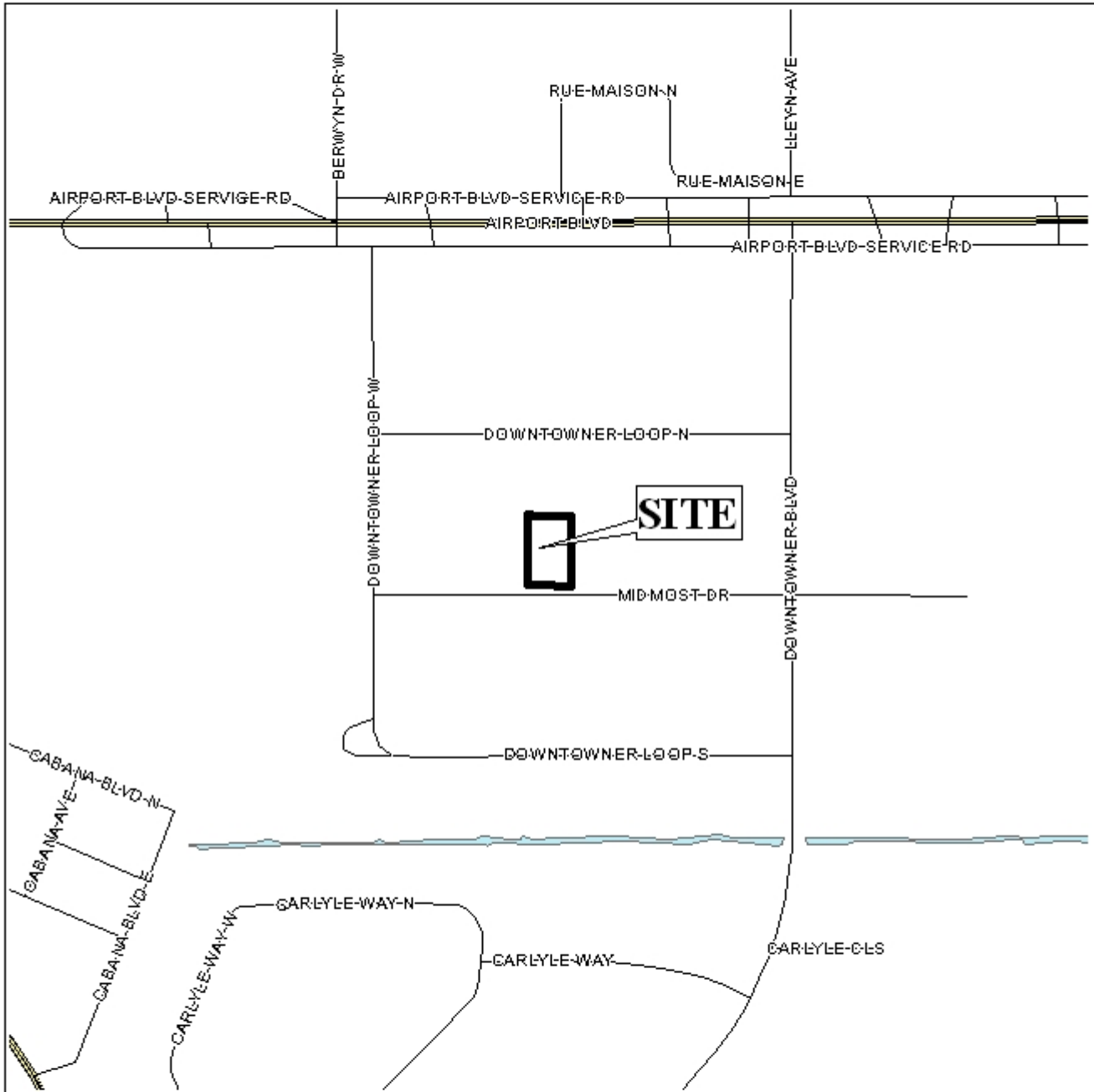
The site fronts Midmost Drive, which is a minor street with 60' of right-of-way, compliant with Section V.B.14. of the Subdivision Regulations. Therefore, no right-of-way dedication is required.

The site has approximately 140' of frontage along Midmost Drive; therefore, a note should be placed on the final plat stating that the site is limited to one curb cut, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Based on the preceding, this application is recommended for a hold over to allow the applicant to submit the following:

- 1) revised plat including Lot 15 in the subdivision; and
- 2) postage and fees.

LOCATOR MAP



APPLICATION NUMBER 16 DATE November 15, 2007

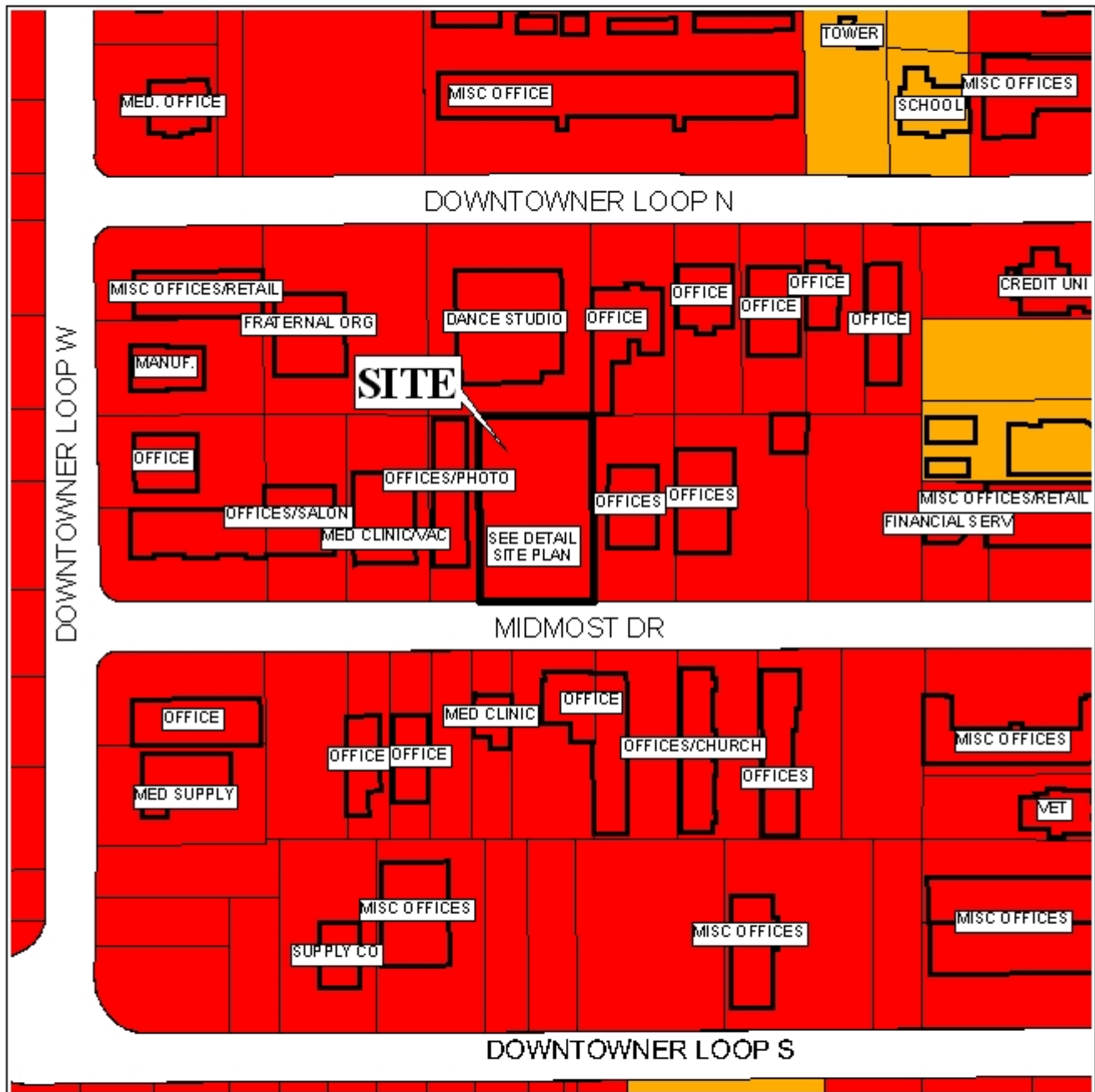
APPLICANT Shaikh Subdivision

REQUEST Subdivision



NTS

SHAIKH SUBDIVISION

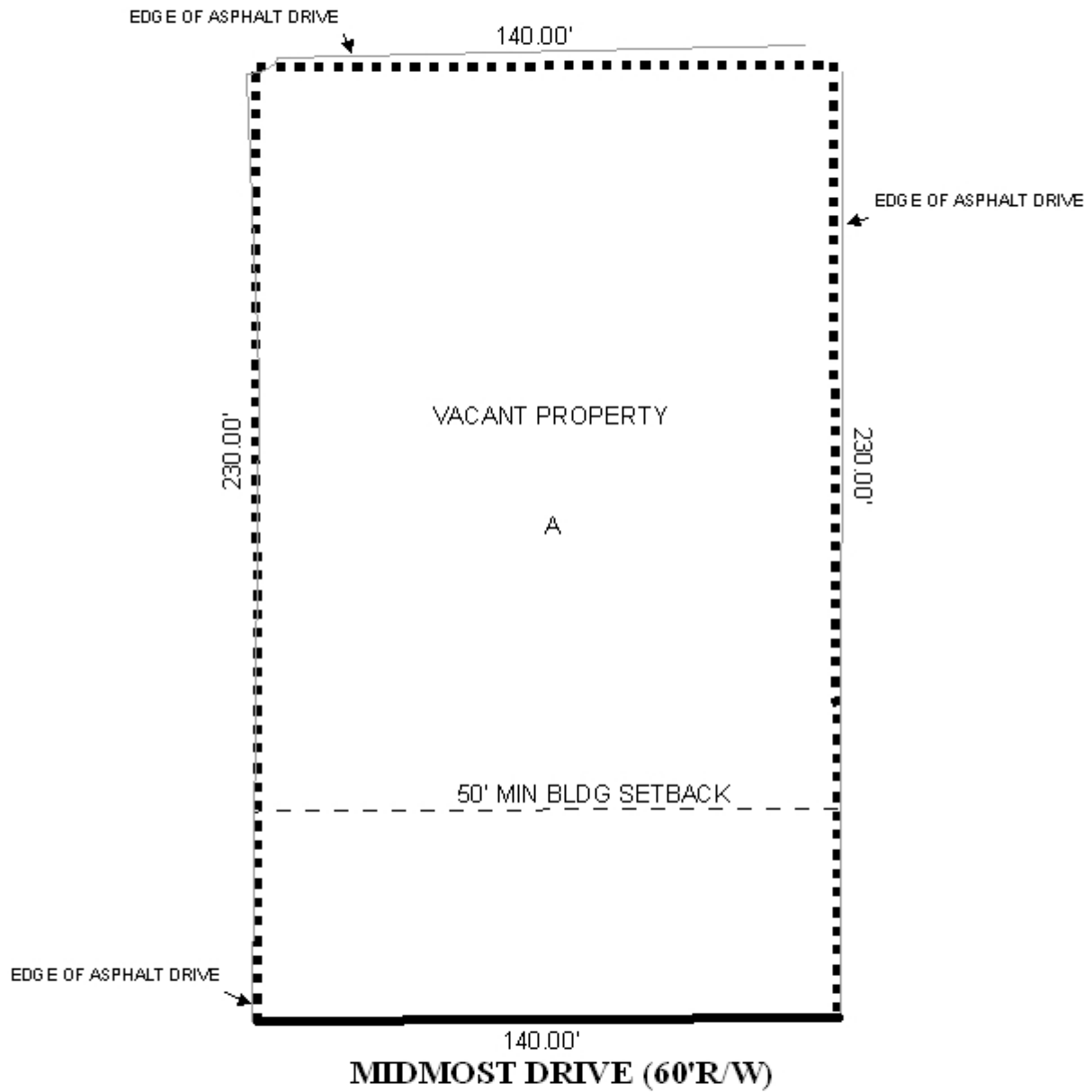


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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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DETAIL SITE PLAN



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 APPLICANT Shaikh Subdivision
 REQUEST Subdivision



NTS