

## **RICHMOND SUBDIVISION, RESUB OF LOT 15**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: No comments available.

The preliminary plat illustrates the proposed 2-lot, 0.5 ± acre subdivision which is located on the north side of Richmond Drive at the north terminus of Norfolk Place. The applicant states that the subdivision is served by public water and sanitary sewer.

The intent of this application is to subdivide an existing legal lot into two legal lots of record, one of which will be used for public utility purposes only. In accordance with the Subdivision Regulations, the proposed Lot 1 is compliant with the minimum lot size requirements.

According to the preliminary plat, there is an existing 50-foot easement which runs north-south on the west side of both lots and is meant for “water line, sanitary sewer and ingress & egress to Lots 13 and 14, detention area and sanitary sewer pumping station only.” Lot 2 contains the aforementioned sewer pumping station; therefore, guaranteed access via a paved and gravel utility road within the easement.

The majority of Lot 2 contains existing easements: a 25-foot drainage easement, a 20-foot drainage easement, and an easement for a pumping station. Lot 1 contains existing easements as well: a 20-foot drainage easement which spans the entire east side of the lot, a 7.5-foot utility easement which runs the entire frontage along Richmond Drive, and a portion of the sewer pumping station’s easement which is located on the extreme northern portion of the lot. A note should appear on the Final Plat stating that no permanent structures be constructed within any easement.

It is recommended that the lot size and street frontage requirements for Lot 2 be waived because the proposed lot is landlocked with no road frontage and is not compliant with the minimum lot size requirements.

The 25-foot minimum building setback line and the lot size in square feet are illustrated on the preliminary plat and should be retained on the Final Plat.

Lot 1 fronts Richmond Drive with a compliant 50-foot right-of-way and as a result, no dedication is needed. The proposed lot has one existing curb-cut along Richmond Drive and as a means of

access management, a note should be placed on the Final Plat limiting Lot 1 to the existing curb-cut.

This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat.

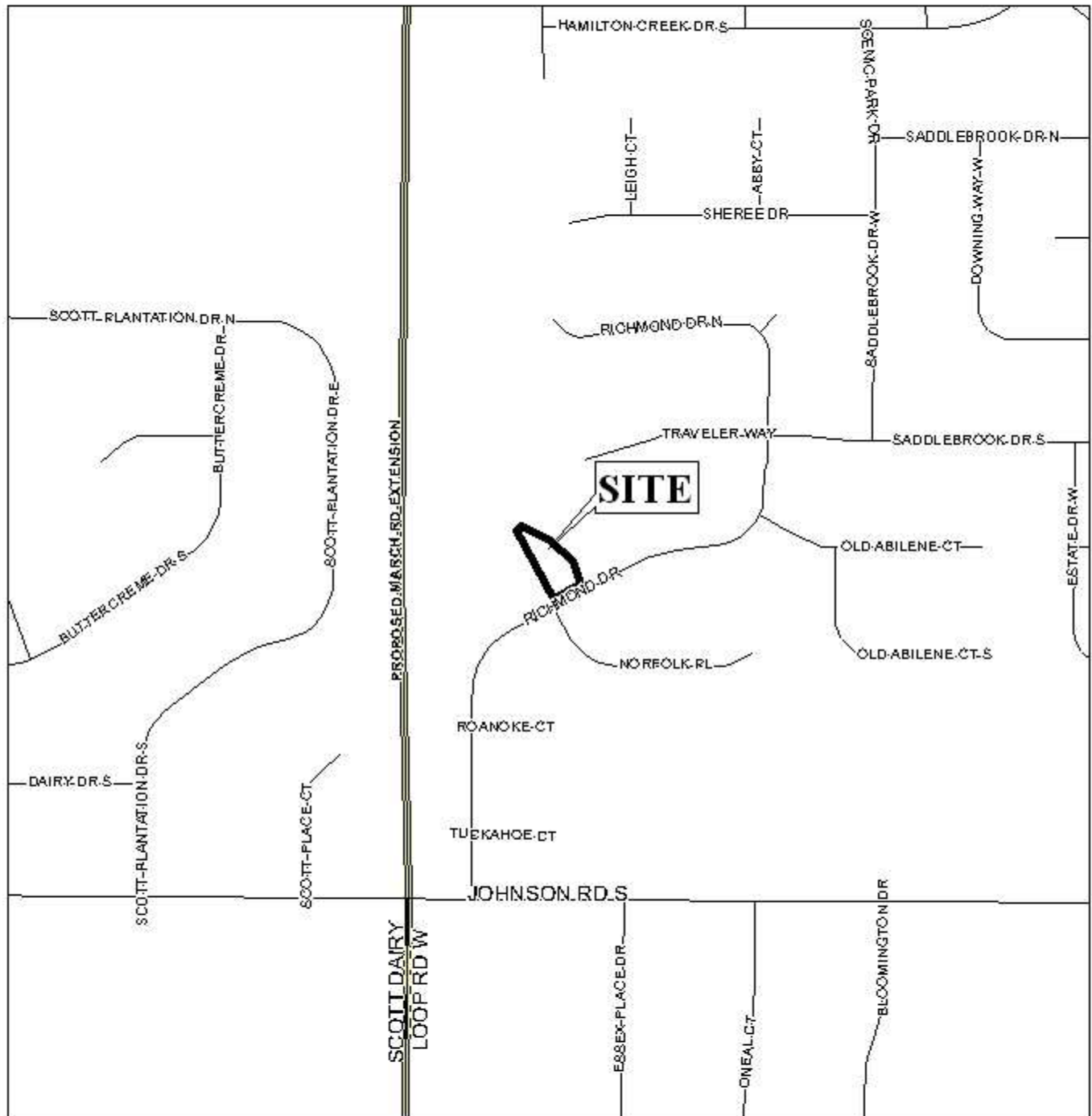
A note stating “Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note should also appear on the Final Plat to reflect this requirement.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) the lot sizes and the 25-foot minimum building setback line should be retained on the final plat;
- 2) the lot size and street frontage requirements for Lot 2 be waived;
- 3) placement of a note on the Final Plat stating for utility use only;
- 4) illustrations of all easements should be retained on the Final Plat along with a note stating that no permanent structures be constructed in any easement;
- 5) placement of a note limiting Lot 1 to existing curb-cut;
- 6) placement of a note on the Final Plat stating: “Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits;” and
- 7) retention of notes on the final plat relating to endangered/threatened species, buffering of commercial development, and storm water compliance.

# LOCATOR MAP



APPLICATION NUMBER 16 DATE July 11, 2013  
APPLICANT Richmond Subdivision, Resubdivision of Lot 15  
REQUEST Subdivision



# RICHMOND SUBDIVISION, RESUBDIVISION OF LOT 15



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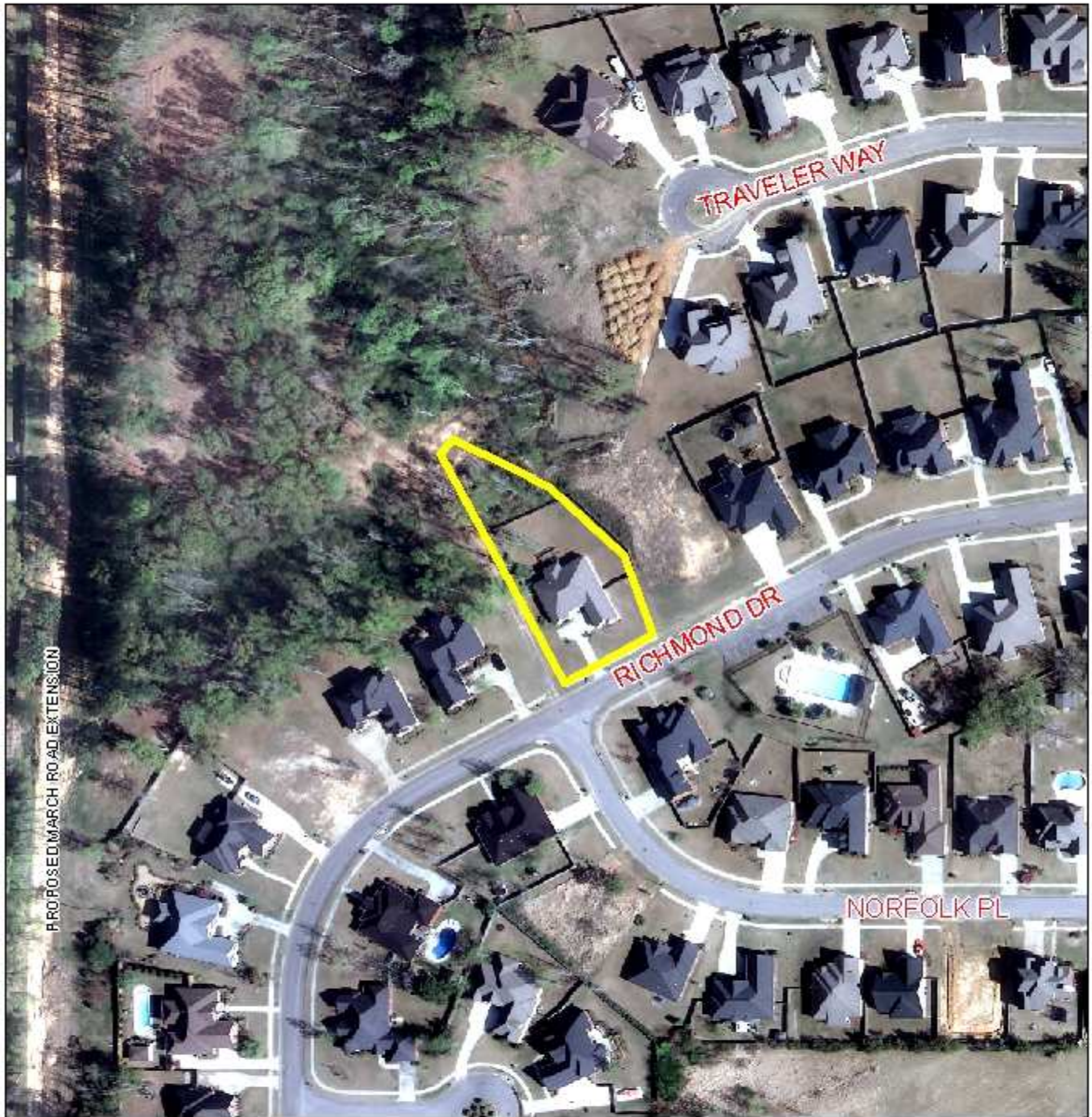
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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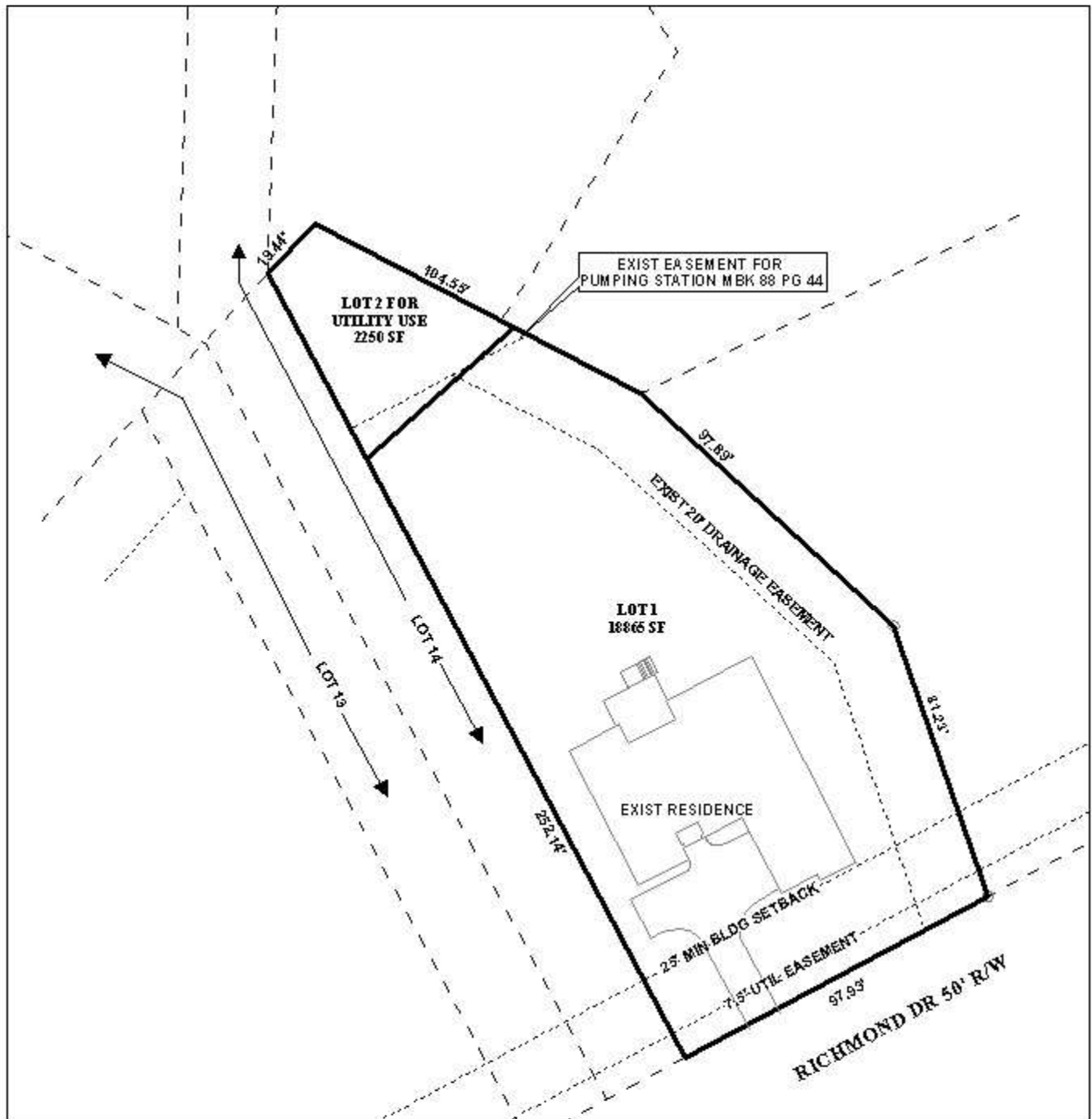
# RICHMOND SUBDIVISION, RESUBDIVISION OF LOT 15



APPLICATION NUMBER 16 DATE July 11, 2013



# DETAIL SITE PLAN



APPLICATION NUMBER 16 DATE July 11, 2013  
APPLICANT Richmond Subdivision, Resubdivision of Lot 15  
REQUEST Subdivision

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