

## **MARITIME SCIENCE CENTER SUBDIVISION**

Engineering Comments: Show Minimum FFE on each lot shown on plat. Reference any FEMA approvals for LOMR submittals. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 2 lot, 23.5 acre  $\pm$  subdivision which is located at 200 Addsko Road (Southeast corner of Addsko Road and Battleship Parkway), and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to subdivide an existing metes and bounds lot into two legal lots of record.

The proposed lots meet the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations. The proposed lot size is indicated on the plat and should be retained on the final plat. The proposed lots also have adequate frontage along a public right-of-way.

The plat does not appear to depict the entire parcel as shown on the tax assessor records. A survey done for the owner and dated May 12, 1992, was provided by the applicant's representative. The survey only shows the subject property that was included in this application and not the entire tax parcel. However, as this is a survey only, and not a subdivision, it is not sufficient to warrant to exclusion of the remainder of the parcel. It should be noted that the excluded area is a dredge spoil site and likely is not useful as a building site. Accordingly, the entire parcel should be included in this subdivision request, however the remaining portion of the tax parcel should be designated either as conservation area or future development area in order to account for that land.

The site fronts Addsko Road to the North. Addsko road is a minor street provided with curb and gutter, and is depicted as having a 50-foot right-of-way, which is adequate for this type of street. Previous subdivisions in the immediate area of this application have not required any further dedications along Addsko Road.

The proposed Lot 1 is a large site with over 1000 feet of frontage along Addsko Road. Addsko Road, while a minor street, has a high traffic volume due to the large amount of industry in the

area. Accordingly, access management is a concern. Because of this, the proposed Lot 1 should be limited to two curb cuts, with the size, location, and design of all curb cuts to be approved by ALDOT and City of Mobile Traffic Engineering, and conform to AASHTO standards. It should be noted that the proposed development on the proposed Lot 1 is only proposed to utilize two curb cuts.

The proposed Lot 2 is already developed and has one existing curb cut. As such, the proposed Lot 2 should be limited to the existing curb cut, with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering, and conform to AASHTO standards.

It should be noted that the development on the proposed Lot 1 will be a Maritime Science Center operated by Alabama Industrial Development Training and the Alabama Public School and College Authority. As such, it will be exempt from the City of Mobile's Zoning Regulations. Accordingly, this site should be explicitly required to comply with Section V.A.8 of the Subdivision Regulations regarding buffers. Thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations. That being stated, it is unlikely that there will ever be residential development in this part of the city.

The 25-foot minimum building setback line is not shown on the preliminary plat, but should be shown on the final plat, if approved.

The site appears to be within a FEMA recognized floodplain. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

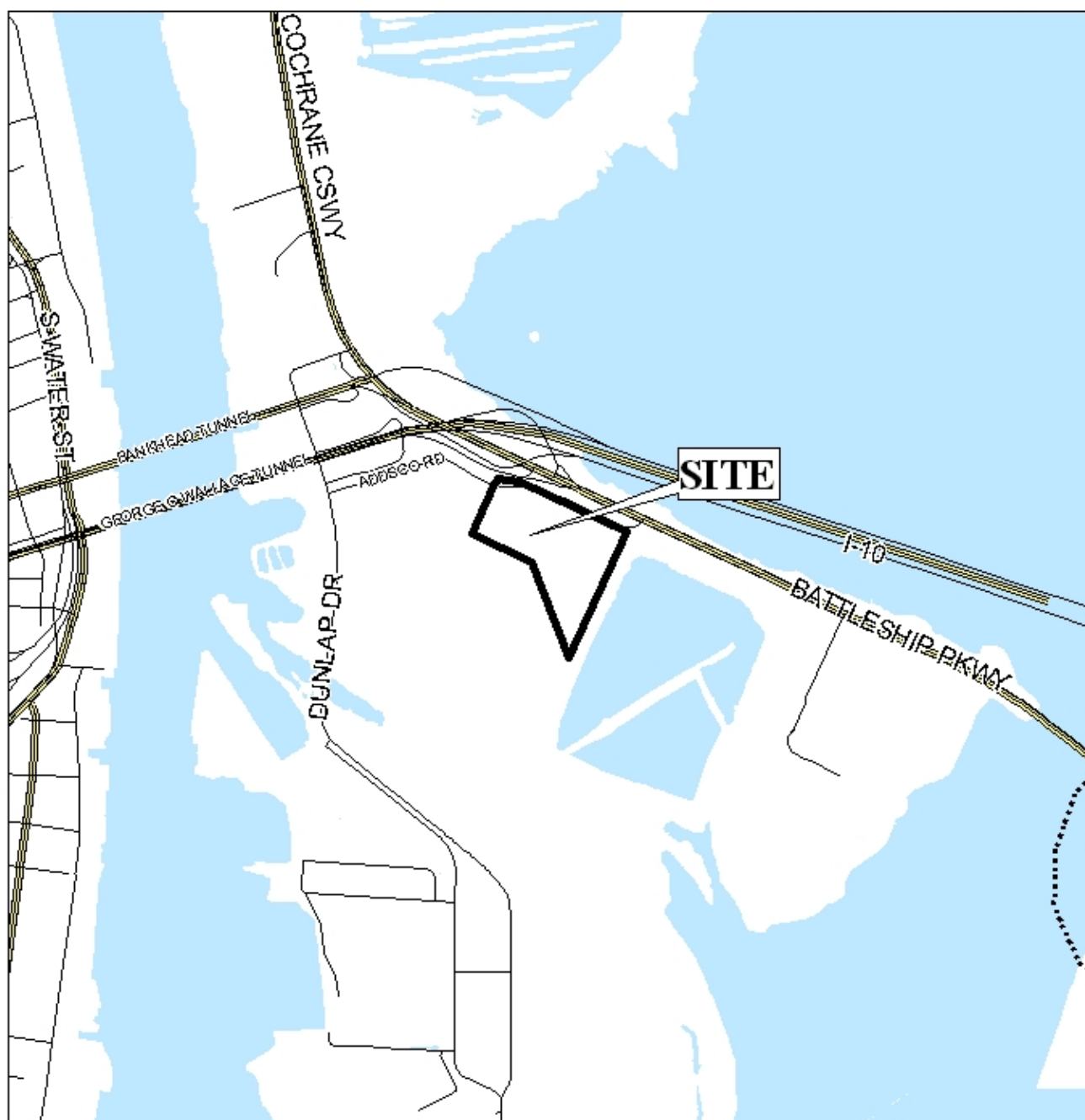
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for approval subject to the following conditions:

- 1) Inclusion of the entire tax parcel on the final plat with appropriate labeling as future development or conservation area;
- 2) Depiction of the 25-foot minimum building setback line along all public right-of-way frontages;
- 3) Retention of lot size labeling in square feet;
- 4) Provision of a note on the final plat stating that Lot 1 is limited to two curb cuts, with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering, and conform to AASHTO standards;
- 5) Provision of a note on the final plat stating that Lot 2 is limited to the existing curb cut, with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering, and conform to AASHTO standards;
- 6) Provision of a note on the final plat stating that approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits;

- 7) Provision of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) Provision of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations;
- 9) Compliance with Engineering Comments: *Show Minimum FFE on each lot shown on plat. Reference any FEMA approvals for LOMR submittals. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit;* and
- 10) Full compliance with all applicable municipal codes and ordinances.

## LOCATOR MAP



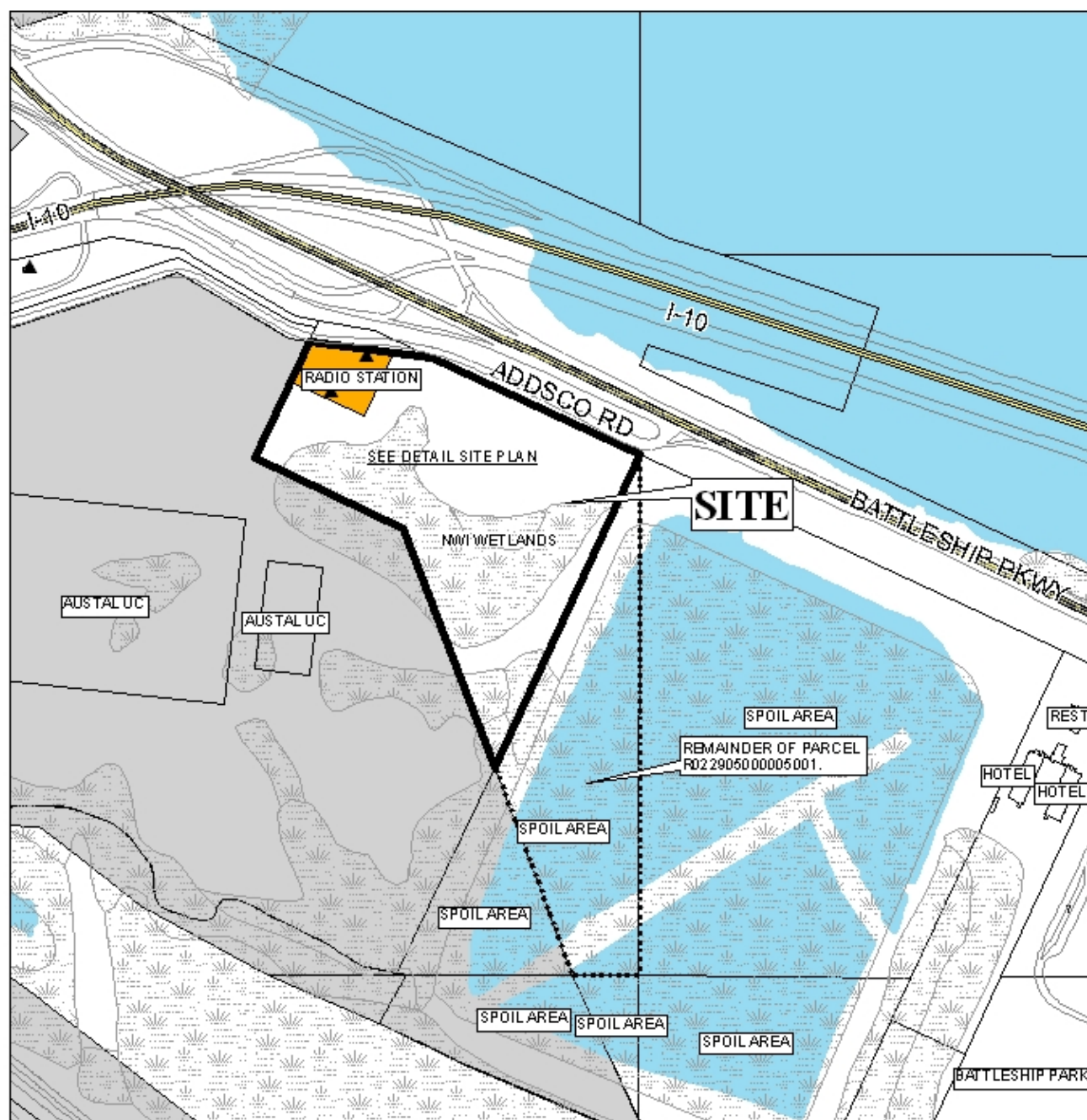
APPLICATION NUMBER 16 DATE July 16, 2009

APPLICANT Maritime Science Center Subdivision

REQUEST Subdivision



# MARITIME SCIENCE CENTER SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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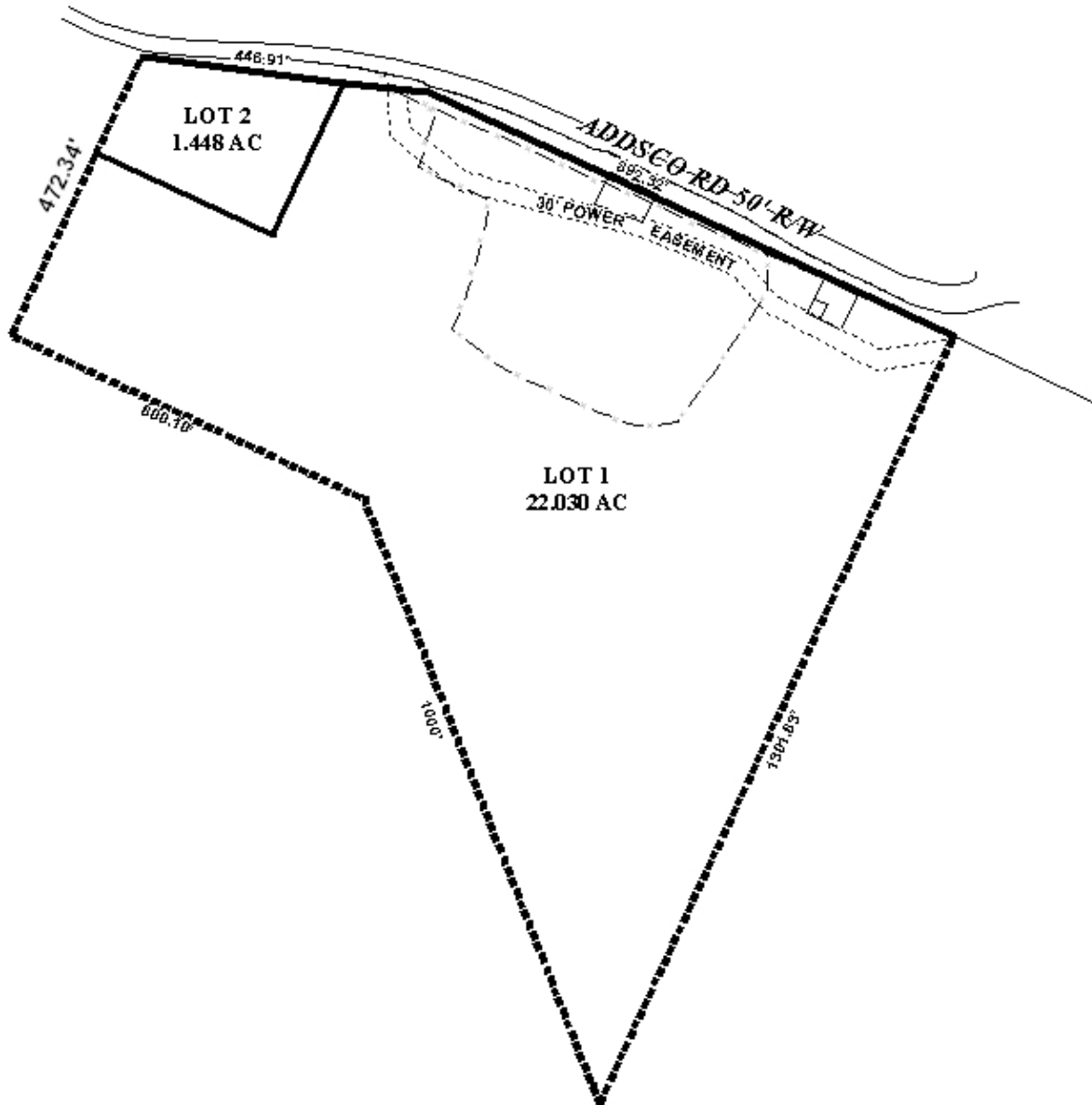
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## DETAIL SITE PLAN



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