

LIBERTY SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Mobile Area Water and Sewer Systems Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 120.2± acre, 262-lot subdivision, which is located on the East side of Schillinger Road, 730'± North of Meadows Boulevard, extending to the Northern termini of Meadow Drive North, Meadow Dale Drive, Meadow Run Drive, Meadow Height Drive, and to the Western terminus of Augustine Drive, and located within the planning jurisdiction. The applicant states that the site is served by public water and sanitary sewer services.

The purpose of this application is to create 262 legal lots of record from five metes-and-bounds parcels.

Several subdivision applications namely Woodland Glen Subdivision have been approved by the Planning Commission. The first approval of Woodland Glen was at its April 6, 2006 meeting, however, that application only proposed 91 lots covering approximately 39 acres. Another subdivision was approved in January 2007, which included the area that was part of the previous approval, but with a substantial expansion in area and number of lots (198), including a connection to The Meadows, units 1-4, and a street stub to the Saybrook Subdivision; the subdivision expired. The last proposed subdivision under the name Woodland Glen Subdivision proposed 275-lots with the same connection to The Meadows, Units 1-4, and the street stub to the Saybrook Subdivision.

This application is essentially the same as approved by the Commission at its July 21, 2011, meeting, with the exception that a wetlands area to the Northwest is now included within the subdivision as a common area, and the total acreage has expanded from the previous 86.3± acres to the current 120.2± acres. The lot numbers and configurations remain the same.

The current application for Liberty Subdivision proposes a three phase, 262-lot development of varying sizes and shapes of lots which incorporates 'mixed-uses' to include commercial along the Schillinger Road corridor. The developer uses design methods similar and in-line with the

Traditional Neighborhood Development (TND) concepts that respond to the unique site conditions and also allows future homebuyers the opportunity to participate in this lifestyle. The proposed subdivision includes a community center with a pool, complete with children's splash zone, gardens, and parks, playgrounds, walking paths, expansive green spaces, tree-lined streets and more. The development proposes a Village Center, which includes a 7,200 square foot commercial building, eight two-story town homes and a Village Square.

The proposed subdivision illustrates a variety of lot widths; 24-foot (townhome lot), 40-foot, 55-foot, 65-foot and 80-foot. The following table describes the proposed lot and unit parameters for each width.

PARAMATER	LOT WIDTH (FT)				
	24	40	55	65	80
Type	Town	SFD*	SFD*	SFD*	SFD*
Garage access	Alley	Alley	Front	Front	Front
Front setback	15	15	15	20	20
Side yard setback	N/A	5	5	5	7.5
Side street setback	15	15	15	15	20
Rear yard setback	15	15	15	15	15
Typical lot depth	85	110**	120**	120**	120**
Typical lot square footage	2,040	4,400	6,600	7,800	9,600

*Single-Family detached

**Depths of lots vary but are no shallower than 100-feet

Waivers of Sections V.B.8. Alleys, V.D.1. Size and shape of lots, V.D.2. Minimum dimensions, V.D.3. Maximum depth, V.D.9. Minimum Front Yard Setback would be required to allow the proposed development. However, these waivers are common in development of this nature, some of the concepts of Traditional Neighborhood Developments (TND) are included in this development such as, various size and shapes of lots, several open areas, various home designs, and the Village Center to name a few.

The proposed subdivision has frontage onto street stubs for The Meadows subdivision, all minor streets with adequate rights-of-way, and Schillinger Road South, a proposed major street with an existing right-of-way width of 80 feet. As Schillinger Road South is a proposed major street, its right-of-way should be 100-feet in width, thus sufficient right-of-way should be dedicated to Mobile County to provide 50 feet, as measured from the centerline of Schillinger Road South. With that said, the 25-foot minimum building setback line for all lots with frontage onto Schillinger Road South should be revised to reflect the right-of-way dedication.

Access management is a concern regarding the proposed subdivision fronting onto a proposed major street, and as it relates to lots within the proposed subdivision. One access to Schillinger Road South is depicted on the preliminary plat; therefore, a note should be placed on the plat stating that direct access to Schillinger Road South is denied for any lots fronting onto Schillinger Road South. Moreover, all lots are illustrated as being contained within the subdivision; therefore, a note should be placed on the plat stating that all lots (including corner

lots) are limited to one curb each, with the size, design and location to be approved by the Mobile County Engineering Department and in conformance with AASHTO Standards.

It is very important to note that the numbers of lots were made possible with the reduction of many lots with regard to size and width. While the sizes are not appropriate for lots with access to public water and sanitary sewer, many lots do not comply with Section V.D.2 of the Subdivision Regulations, which states that all lots must be at least 60' wide at the minimum building setback line. No similarities exist in the vicinity; The Meadows Subdivision (adjacent to the South and East), to which the proposed subdivision will have access, contains lot over 100' in width. However, since the developer proposes to use concepts that are used in Traditional Neighborhood Development (TND) design, the development could be considered for approval.

A traffic impact study was submitted with the original application in July, 2011, to ensure that the site can accommodate the proposed number of lots, especially with two access points for the subdivision to a major street. As the only difference between that application and this one is the inclusion of a wetlands area in this application which is not proposed to be developed, no further traffic impact study would be required for this application. Furthermore, lot sizes (in square footage) should be provided on the Final Plat and the minimum front setback lines should be illustrated on the Final Plat as well to include all setbacks for the development.

The proposed subdivision site is adjacent to an unnamed tributary to Halls Mill Creek, and the northern portion of one of the parcels is actually traversed by the creek. As illustrated on the preliminary plat and via information from the National Wetlands Inventory, it appears that the proposed subdivision may abut and include areas that potentially contain wetlands. Furthermore, portions of the parcels appear to be within the FEMA designated "100-year" floodplain and "floodway" of Halls Mill Creek and its unnamed tributary. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore if approved, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. If approved, development of the site must be undertaken in compliance with all local, state, and Federal regulations regarding endangered, threatened or otherwise protected species.

The site is located in the county. Therefore if approved, a note should be placed on the Final Plat stating that any lots developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

While the site is located in the county, compliance with the City of Mobile storm water and flood control ordinances will be required. If approved, a letter from a licensed engineer certifying compliance with the City's storm water and flood control ordinances should be submitted to the Mobile County Engineering Department and the Planning Section of Mobile Urban Development prior to the issuance of any permits.

It should be noted that Lots 7, 56-58, 84, 85, 133, 163, 164, 169 and 240 appear to exceed the maximum depth allowed by Section V.D.3 of the Subdivision Regulations. However, given the close proximity of the site to wetlands, much of the rear of these lots may not be developable; thus, a waiver may be appropriate.

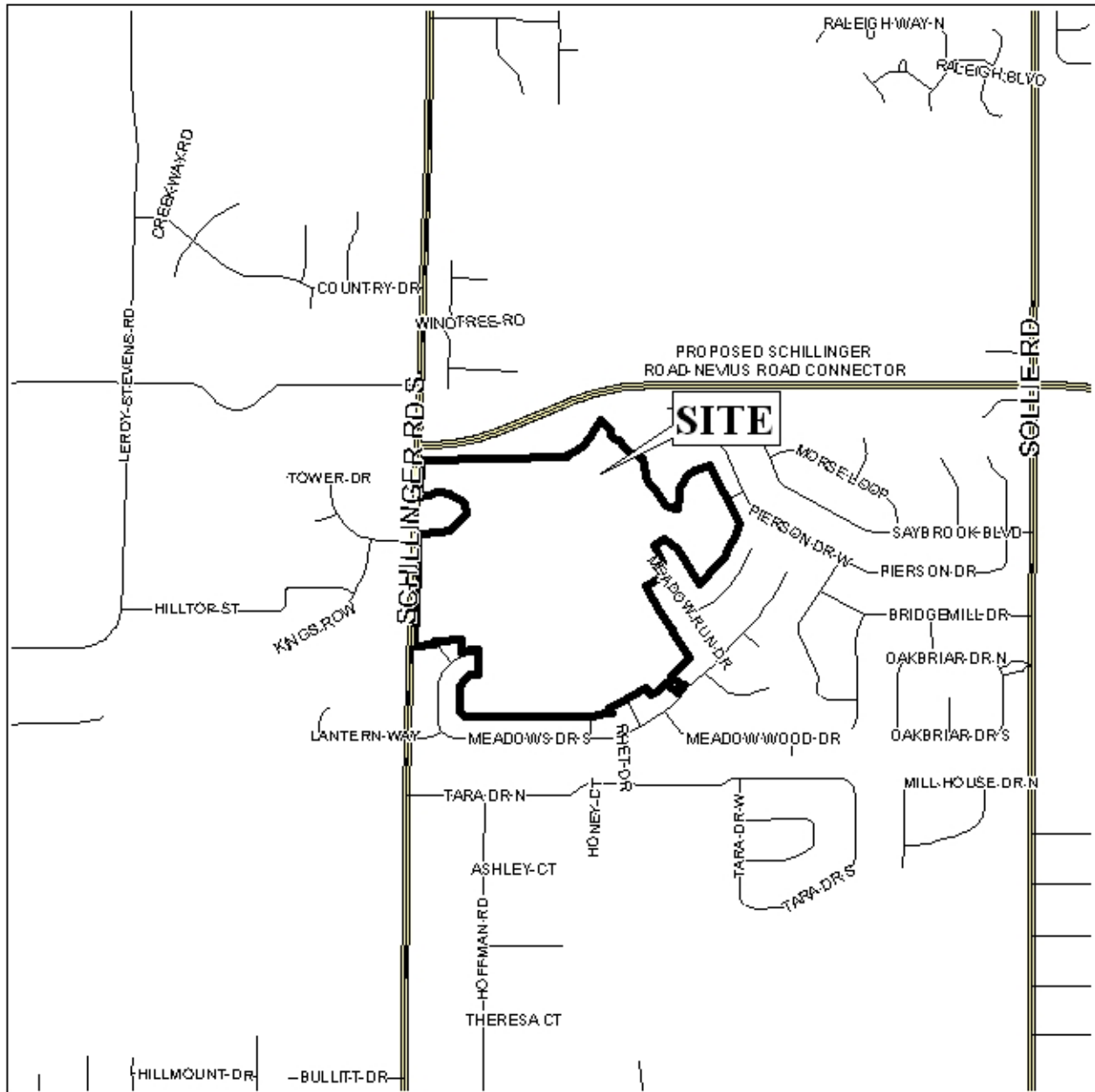
The site plan depicts several open areas and detention basins. A note should be placed on the Final Plat, if approved, stating that maintenance of the Common Area/Detention Area, and any other common areas, are the responsibility of the development's property owners.

With waivers of Sections V.B.8. Alleys, V.D.1. Size and Shape of Lots, V.D.2. Minimum Dimensions, V.D.3. Maximum Depth, V.D.9. Minimum Front Yard Setback, and V.I.C.4. Sidewalks, and based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide 50', as measured from the centerline of Schillinger Road South;
- 2) the placement of ALL building setbacks and a table illustrating ALL setbacks on the Final Plat;
- 3) the placement of a typical lot setback for ALL size of lots to be illustrated on the Final Plat;
- 4) placement of a note on the Final Plat stating that direct access to Schillinger Road South is denied for any lots fronting onto Schillinger Road South;
- 5) the labeling of each lot with its size in square feet and acres, or the placement of a table on the Final Plat with the same information;
- 6) placement of a note on the Final Plat stating that all lots (including corner lots) are limited to one curb each, with the size, design and location to be approved by the Mobile County Engineering Department and in conformance with AASHTO Standards;
- 7) compliance with the traffic impact study and acceptance by the Mobile County Engineering Department prior to signing the Final Plat;
- 8) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 9) the placement of a note on the Final Plat, stating that maintenance of the Common Area/Detention Area, and any other common areas, are the responsibility of the development's property owners;
- 10) the applicant receive the approval of all applicable federal, state and local environmental agencies would be required prior to the issuance of any permits or land disturbance activities;
- 11) the applicant receive approvals to allow the reduced utility easements and these easements be located on the Final Plat;
- 12) the location and size of the sidewalks be approved by County Engineering and conform to state and Federal guidelines;

- 13) placement of a note on the Final Plat stating that any lots developed commercially and adjoin residentially developed property shall provide a buffer in compliance with Section V.A.8 of the Subdivision Regulations; and
- 14) submission of a letter from a licensed engineer certifying compliance with the City of Mobile's storm water and flood control ordinances to the Mobile County Engineering department and the Planning Section of Mobile Urban Development prior to issuance of any permits.

LOCATOR MAP



APPLICATION NUMBER 16 DATE December 15, 2011

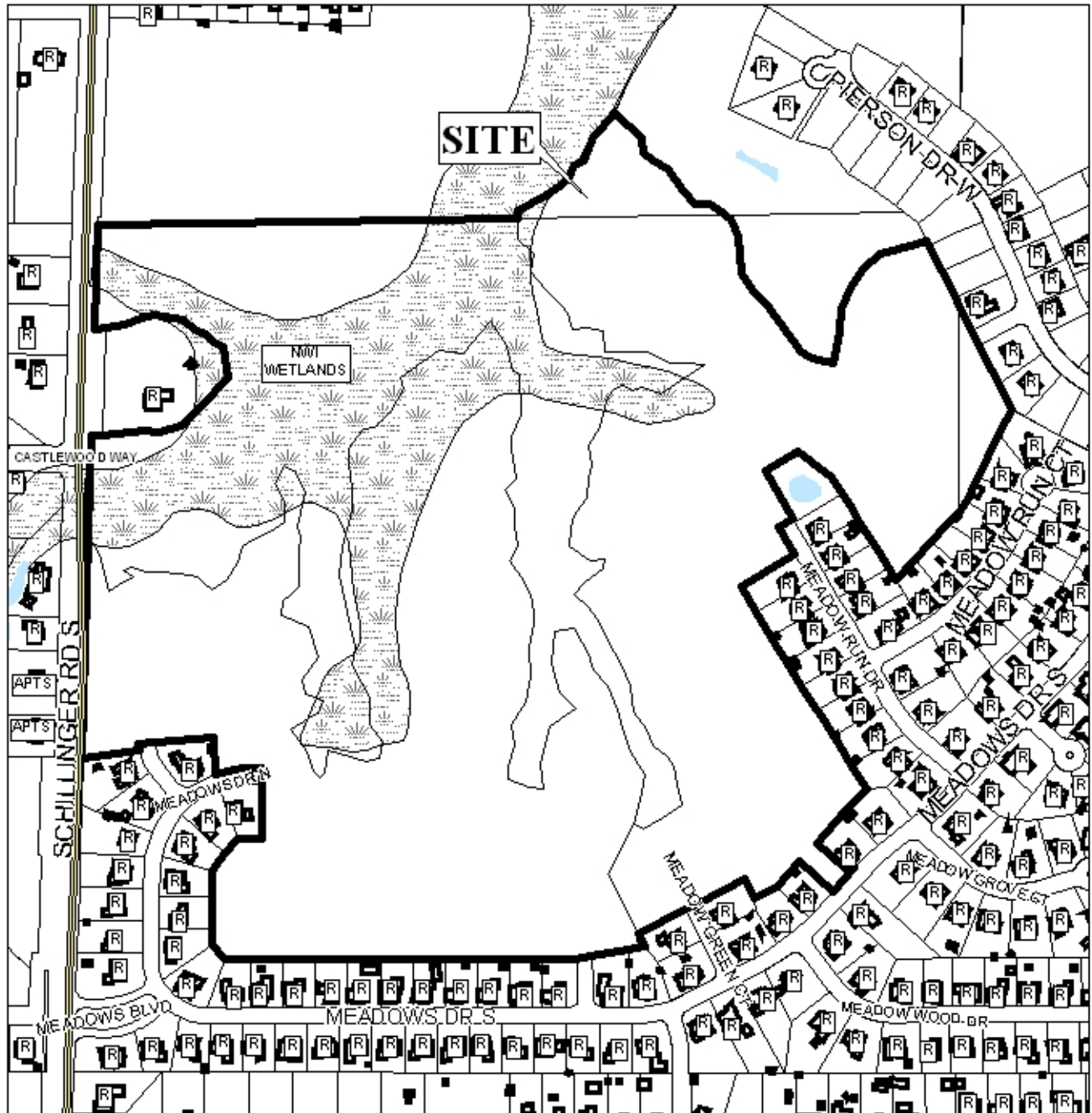
APPLICANT Liberty Subdivision

REQUEST Subdivision

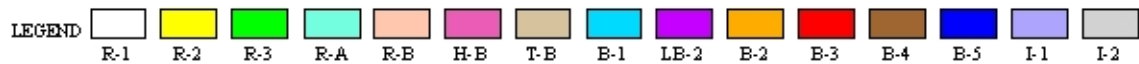


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LIBERTY SUBDIVISION



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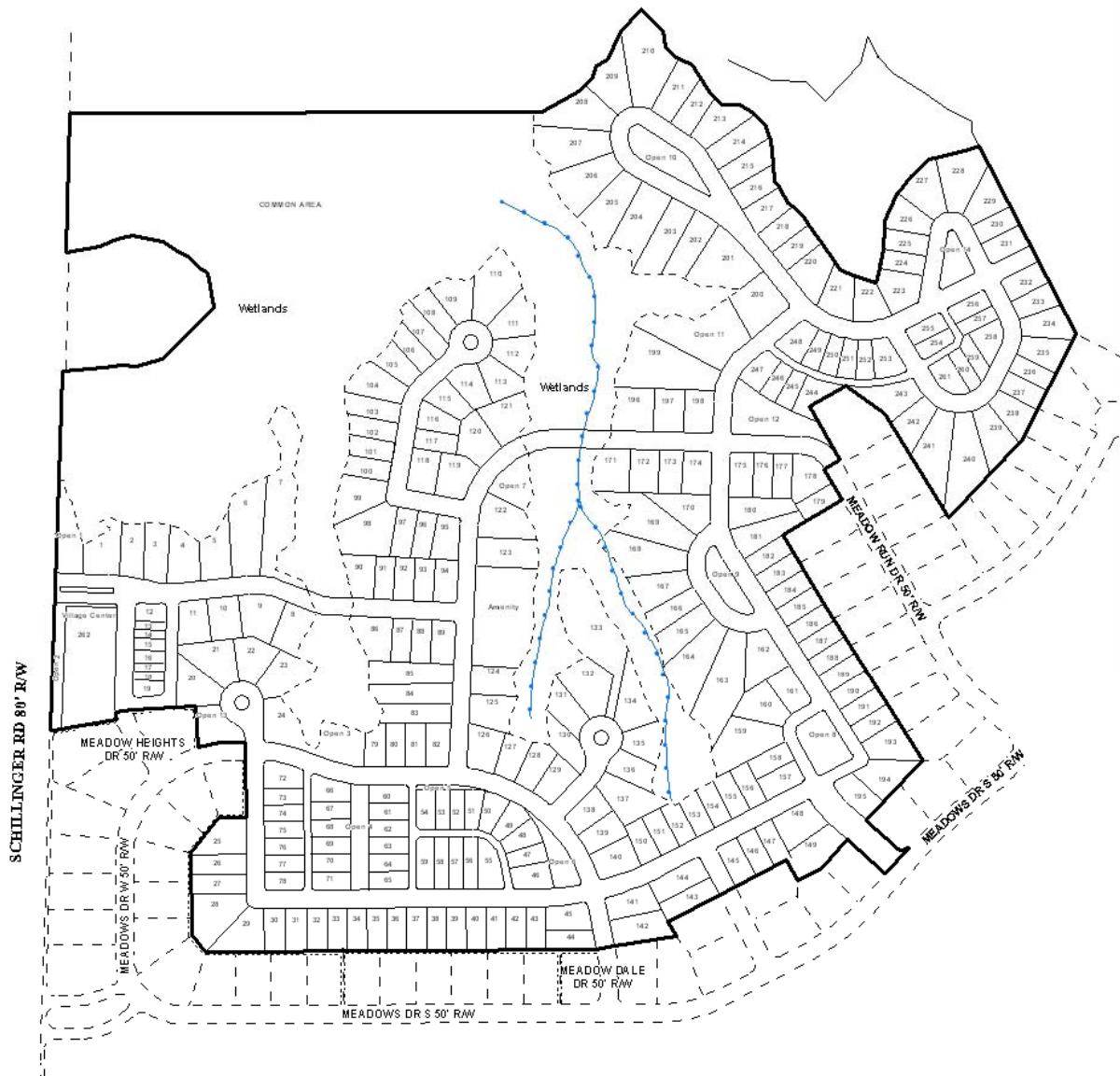
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APPLICATION NUMBER 16 DATE December 15, 2011



DETAIL SITE PLAN



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