

LEONA SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: MAWSS has only water service available.

The plat illustrates the proposed 6 lot, 33.2 ± acre subdivision which is located on the North side of Grelot Road, 3/10 ± mile West of Schillinger Road South, and is located in the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create 6 legal lots of record from 4 metes-and-bounds parcels.

The site in question was a part of a 3 lot subdivision which was approved by the Planning Commission at its May 2, 2002 meeting. Only 1 of the 3 lots was recorded and the approvals for the additional 2 lots have expired. The applicant has submitted a new application with a different configuration to accommodate 6 lots, thus the reason for this application.

The proposed lots appear to meet the minimum size and frontage requirements as regulated by Section V.D.2. of the Subdivision Regulations. However, the lots do not comply with Section V.D.3. of the Subdivision Regulations regarding the maximum width to depth ratio. Thus, a waiver of Section V.D.3 will be required in order to approve the subdivision as proposed.

As proposed, Lots 1-5 are considered to be a “flag” lots, although the frontage widths range from 50.72’ to 290’ ±. Section V.D.1. of the Subdivision Regulations does not allow flag lots unless such are common within the area, or in the case of a family division of property. The application included a letter indicating that the 6 lot subdivision is indeed a family subdivision. The applicant states following: *“This is a family subdivision and the reason we are subdividing the land this way is because all parcels would connect to Grelot Road. Because the property was left to us in this order. We have houses on some of it and we tried to connect it with our other part”*. A waiver of Section V.D.1. of the Subdivision Regulations will be required, if approved. A note should also be placed on the Final Plat, stating that no future subdivision of Lots 1 through 6 is allowed until adequate frontage on a compliant public or private street is provided.

The proposed lots have frontage along Grelot Road, a major street with a 100’ right-of-way as shown on the Major Street Plan Component of the Comprehensive Plan. The preliminary plat

currently depicts the right-of-way width as variable; therefore the dedication of any necessary right-of-way to provide 50' from the centerline of Grelot Road will be required if the right-of-way is less than 100' in width.

As a means of access management, a note should be placed on the Final Plat limiting each lot to one curb-cut to Grelot Road with the size, design, and location of all curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

The 25' minimum building setback line as required by Section V.D.9. of the Subdivision Regulations is not depicted on the preliminary plat. The 25' minimum building setback line should be depicted on the Final Plat, if approved, where each lot is a minimum of 60' in width.

The lot sizes are labeled in square feet and acres. If approved, the lot sizes in square feet and acres should be retained on the Final Plat, (revised for any required dedication) or the furnishing of a table providing the same information will be required.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the final plat.

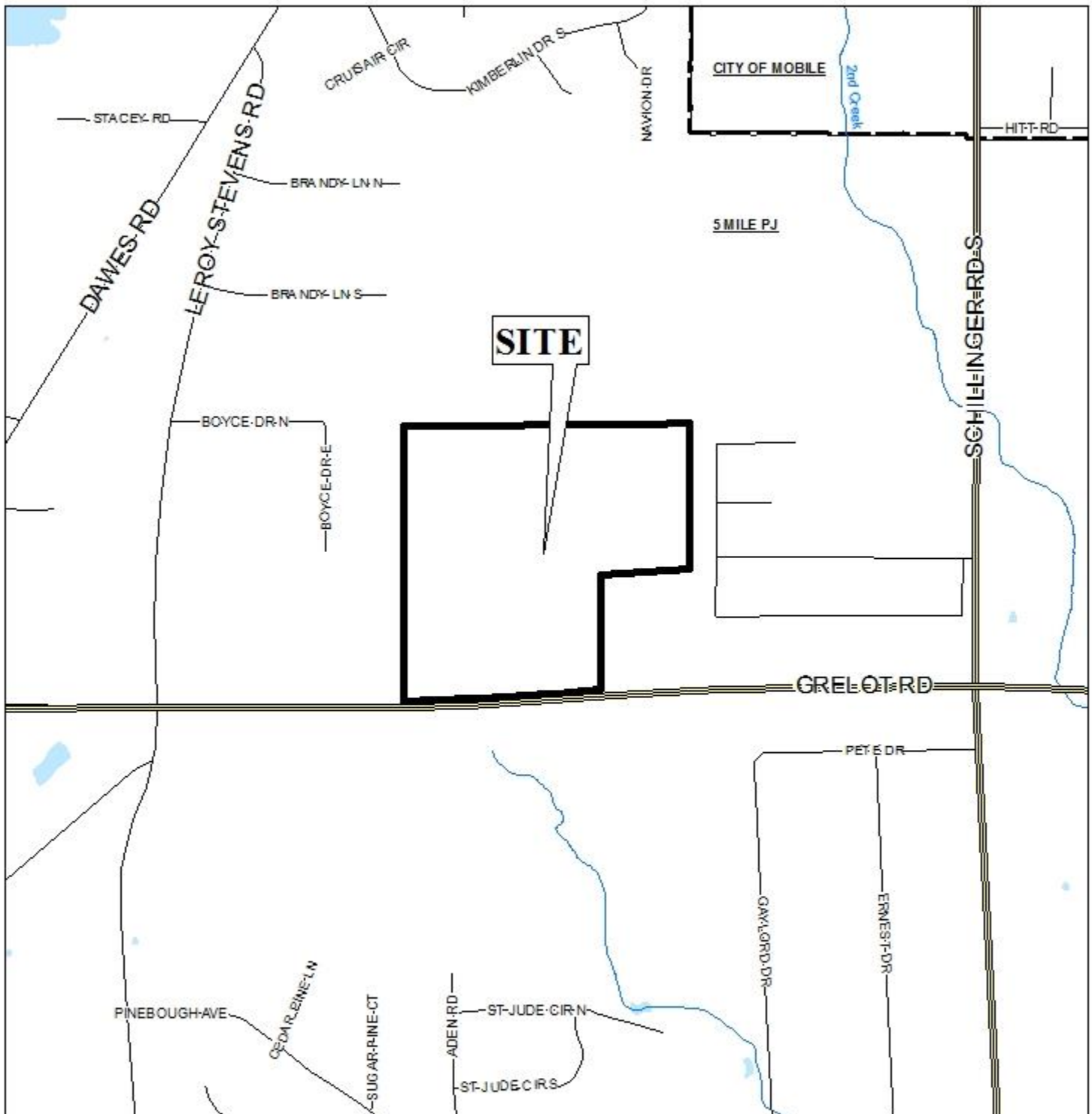
The site is in Mobile County, however, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

With a waiver of Sections V.D.1. and V.D.3 of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) revision of the plat to depict the right-of-way width of Grelot Road and provide dedication if needed to provide 50' as measured from the centerline;
- 2) revision of the plat to depict the 25' minimum building setback lines where each lot is 60' in width;
- 3) placement of a note on the Final Plat stating that each lot is limited to one curb-cut to Grelot Road, with the size, design and locations to be approved by Mobile County Engineering Department and conform to AASHTO standards;
- 4) retention of the labeling of the lots in square feet and acres, (revised for any dedication) or the furnishing of a table on the Final Plat providing the same information;
- 5) placement of a note on the Final Plat stating that there shall be no future subdivision of Lots 1 through 6 until adequate frontage on a compliant public or private street is provided;
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;

- 7) placement of a note on the Final Plat stating that development will be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits. Certification to be submitted to the Planning Section of Urban Development and County Engineering;
- 8) compliance with Fire comments and placement as a note on the Final Plat: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).”*; and
- 9) compliance with Engineering comments and placement as a note on the Final Plat: *“Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.”*

LOCATOR MAP



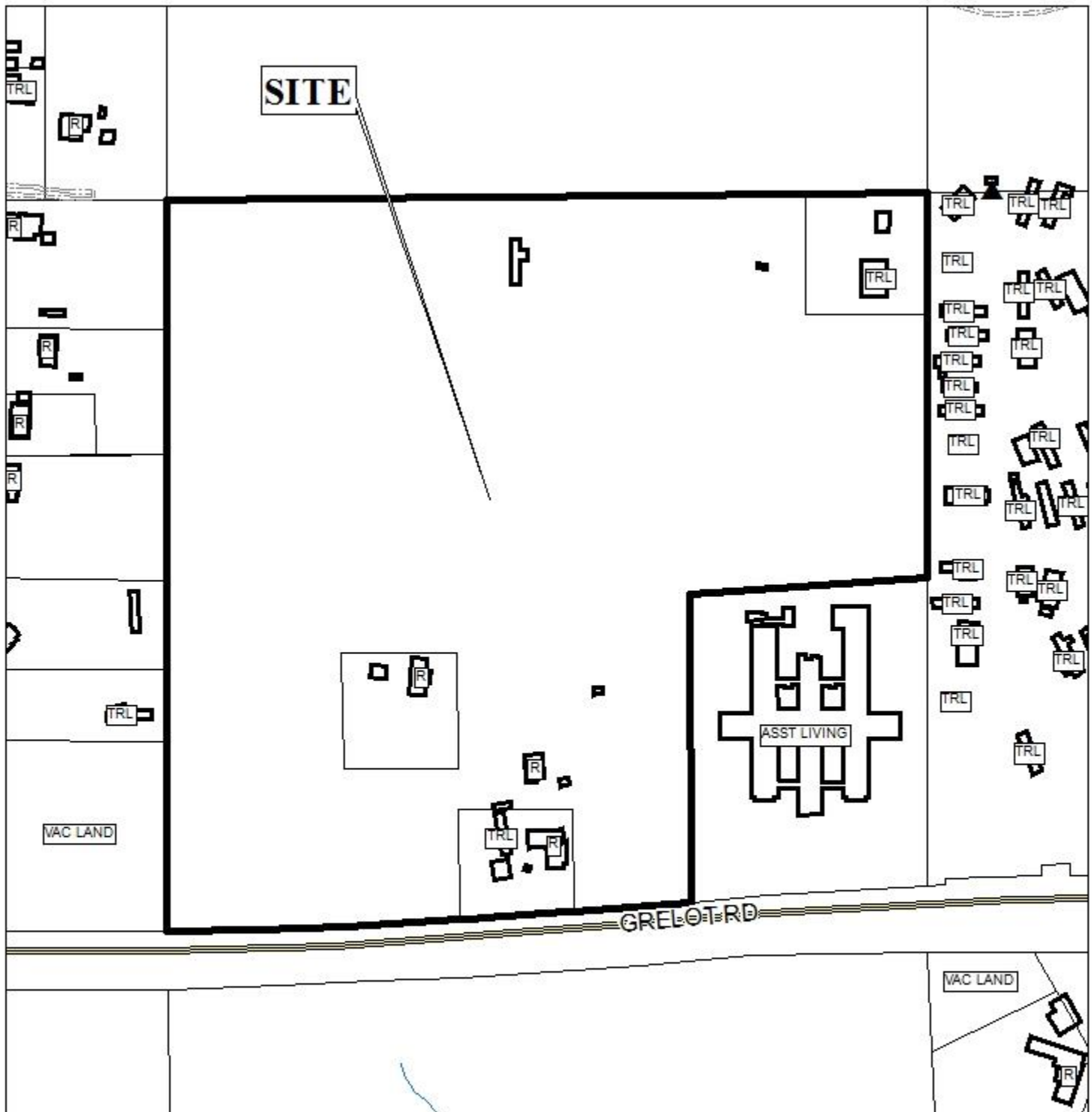
APPLICATION NUMBER 16 DATE August 6, 2015

APPLICANT Leona Subdivision

REQUEST Subdivision



LEONA SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



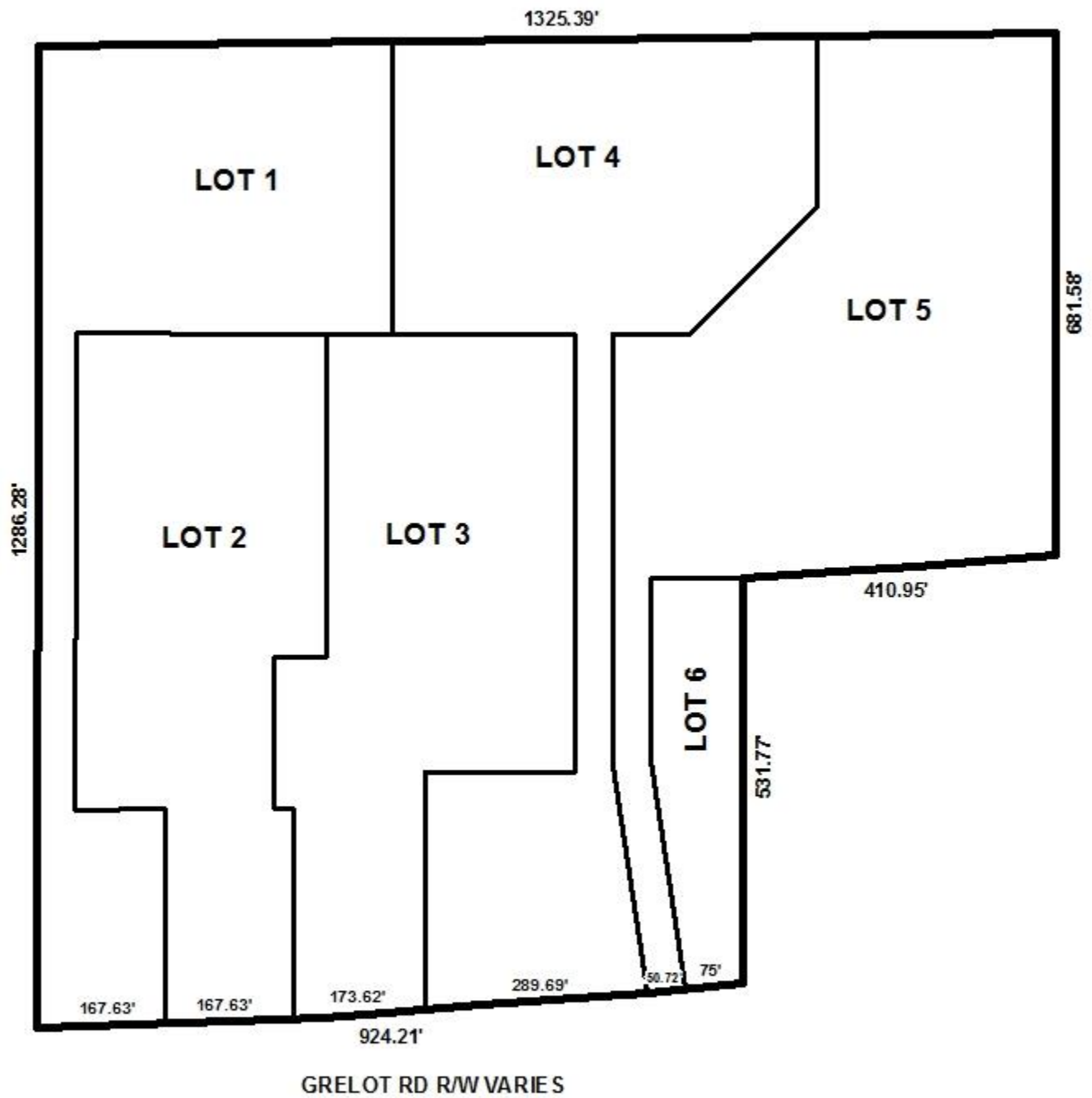
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DETAIL SITE PLAN



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APPLICANT Leona Subdivision

REQUEST Subdivision

