

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: September 7, 2017**

<u>NAME</u>	Ken Knuckles (Development Management Group, LLC)
<u>LOCATION</u>	4803, 4805, 4807, 4811, 4819 & 4821 Moffett Road (Southwest corner of Moffett Road and Forest Hill Drive)
<u>CITY COUNCIL DISTRICT</u>	District 7
<u>PRESENT ZONING</u>	B-2, Neighborhood Business District
<u>AREA OF PROPERTY</u>	.38± Acre
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to allow shared access and parking between multiple building sites.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Not Provided
<u>ENGINEERING COMMENTS</u>	

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and/or ALDOT and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Site is limited to the access as shown on the proposed development with direct access to Moffett Road and Forest Hill Road denied. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development Approval to allow shared access and parking between multiple building sites in a B-2, Neighborhood Business District.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission. Also, PUD approval expires in one (1) year if no permits are obtained.

The subject site was part of the Forest Hill Subdivision and Forest Hill, Resubdivision of Lot 1, but parcels have been created which no longer follow the original lot layout. A new two-lot subdivision will be required, and the applicant acknowledges this requirement.

The portion of the overall site to be redeveloped is located at the southwest corner of Moffett Road and Forest Hill Drive. Moffett Road is a proposed Principal Arterial major street and requires a minimum right-of-way width of 100 feet. Moffett Road is also an ALDOT regulated facility. Forest Hill Drive is a proposed Major Collector street, and, as it lacks curb and gutter, should have a minimum right-of-way width of 60 feet. The site plan does not indicate the existing right-of-way width of either street.

The site is located within a B-2, Neighborhood Business District, and is bounded by R-1, Single Family Residential to the North, East, West and South, as well as B-3, Community Business District to the East.

The site has been given a Mixed Density Residential land use designation per the recently adopted Future Land Use Plan and Map. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies mostly to residential areas located between Downtown and the Beltline, where the predominant character is that of a traditional neighborhood laid out on an urban street grid.

These residential areas should offer a mix of single family homes, townhouses, 2- to 4-residential unit buildings, accessory dwellings, and low- and midrise multifamily apartment buildings. The density varies between 6 and 10 du/ac, depending on the mix, types, and locations of the housing as specified by zoning.

Like LDR areas, MxDR areas may incorporate compatibly scaled and sited complementary uses such as neighborhood retail and office uses, schools, playgrounds and parks, and churches and other amenities that create a complete neighborhood fabric and provide safe and convenient access to daily necessities.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

The existing subject site currently consists of multiple buildings/properties, which include a multi-tenant office/retail center, a mechanical service center, and a bank, that share common access points and parking between each property. The applicant is seeking to redevelop the property (the mechanical service center) at the southwest corner of Moffett Road and Forest Hill Drive into a single tenant restaurant with drive-thru service. The applicant is requesting Planned Unit Development approval to allow shared parking and access along Moffett Road and Forest Hill Drive, in addition to Overlook Road, to provide ingress and egress to the new development and adjoining business properties.

According to Section 64-6. of the Zoning Ordinance, a restaurant use with drive-thru requires one (1) parking space per 100 square feet of gross floor area. The proposed 1,460 square foot building will require fifteen (15) onsite parking spaces. The site plan indicates that fifteen (15) onsite parking spaces will be provided for the proposed development, thus meeting Zoning Ordinance compliance.

Since the parking area will provide fifteen (15) new parking spaces, the applicant must ensure that site lighting is provided in accordance with Section 64-6.A.3.c. of the Zoning Ordinance and should be indicated as a note on the site plan.

In addition to meeting the required number of parking spaces for site compliance, Section 64-4.F.2. of the Zoning Ordinance states that drive-thru restaurants require a minimum of three (3) queuing spaces from the street right-of-way to the order station if both an order station and service window are provided in separate locations. Additionally, a minimum of three (3) queuing spaces between the order station and the service window is also required. A queuing space is defined as a minimum of nine (9) feet wide by twenty (20) feet long; therefore, a minimum distance of 60 feet is required from the street right-of-way to the service window, as well as between the order station and the service window. It appears that the proposed site may meet the required queuing spaces needed for the proposed development; however, the site plan does not indicate/label the location of the service window in order to make the appropriate determination.

It appears that most of the parking stall dimensions and the access aisle widths reflect compliance with Section 64-6.A.2. of the Zoning Ordinance; however, the handicap parking space depicts a width of eight (8) feet and should be revised to meet the minimum 9' wide by 18' long parking stall dimension required by the Zoning Ordinance.

The site plan indicates that minor modifications will be made to the existing parking area of the development in order to accommodate the proposed commercial business. For instance, the applicant proposes to close the existing curb-cuts along Moffett Road and replace them with new curbing and vegetation. The new shared access driveway along Moffett Road to the subject site will be moved approximately 38' East of its existing location. Additionally, new curbing will be installed in the interior of the development in the parking area closest to the proposed restaurant. It appears that a few parking spaces will be removed in order to accommodate the proposed changes to the site. The applicant must ensure that the remaining site provides an adequate number of parking stalls, as required by the Zoning Ordinance, in order to maintain overall site compliance throughout the entire development.

The site plan is not shown in its entirety. As previously mentioned, it is unclear if the remaining development has adequate parking and aisle widths to accommodate the existing and proposed commercial business uses. The site plan should be revised to depict all parking spaces, aisles, and access and maneuvering areas. The Zoning Ordinance requires that a commercial business provide a minimum of one (1) parking space per 300 square feet of gross floor area. The applicant should provide a list of the use and square footage of each tenant space in the multi-tenant retail center to further ensure that the site provides a compliant number of parking spaces for customers.

The proposed restaurant development also requires that landscaping and tree planting requirements be met. The landscape/tree plan should be revised to provide the total site area in square feet. Additionally, the landscaping calculations should be revised to include the total number of perimeter overstory and understory trees, as well as the total number of understory parking trees required. This site requires (8) frontage trees, in addition to (1) understory parking

tree. It appears that the tree planting requirements have been met; however, the landscape and tree planting calculations must be revised to reflect landscape and tree planting compliancy.

A dumpster, as indicated on the site plan, will be provided as the method of garbage collection for the new development; however, the site plan must be revised to indicate the height and enclosure material of the dumpster. The connection to sanitary sewer services was noted via a note on the site plan.

It appears that the proposed order station/menu board will be within the 25 foot setback. If the board will be more than 3 feet in height, a variance will be required.

It should be noted that in 2009 the subject site received Administrative Planned Unit Development Approval to allow shared access and parking between the two building sites consisting of the 3,110 square foot bank and the 33,230 square foot office/retail center within the development.

Due to the corner redevelopment and extensive right-of-way work along Moffett Road, a sidewalk will be required along the Moffett Road frontage for the entire site, and along the Forest Hill Drive portion where the redevelopment will take place.

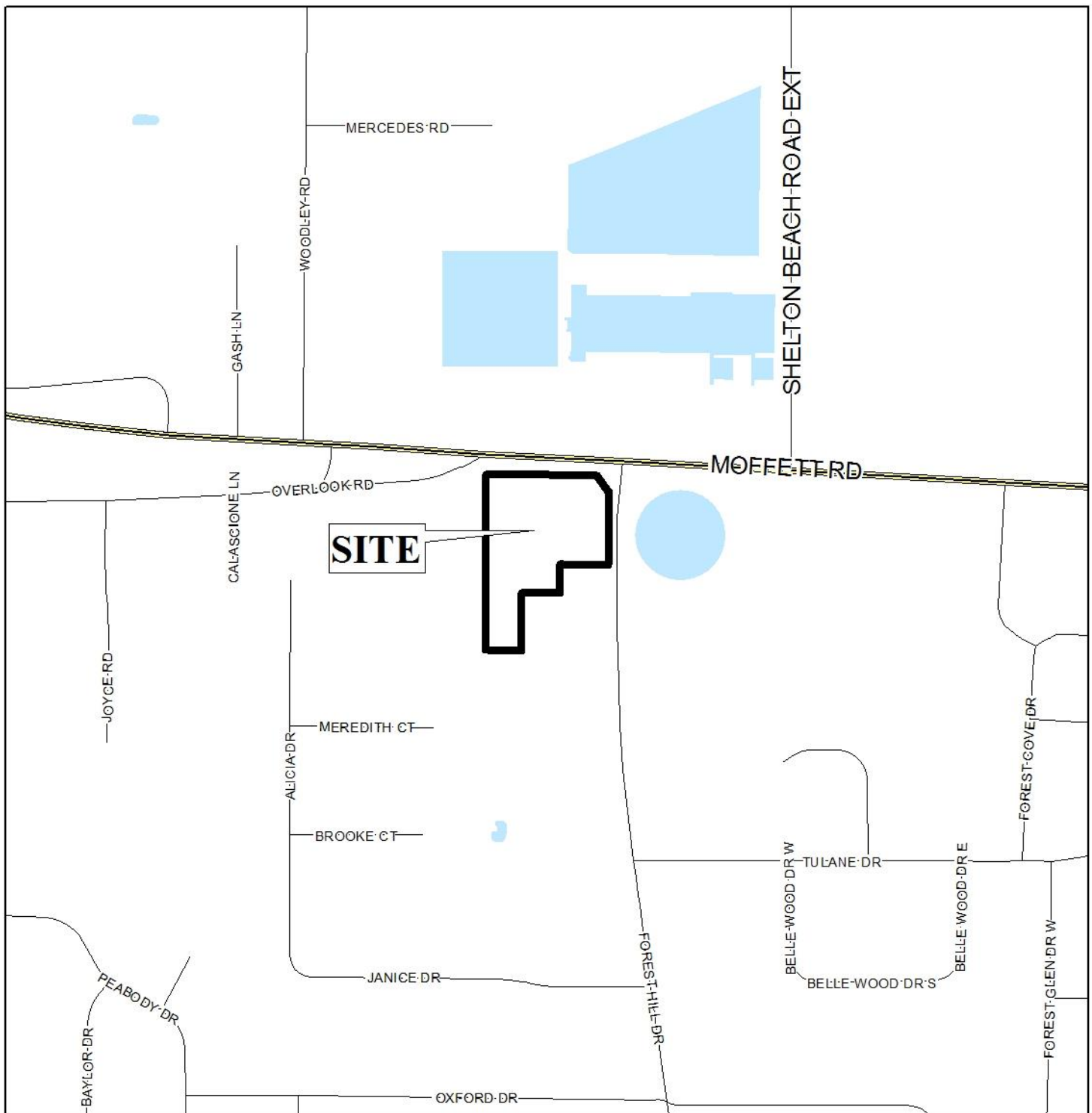
The proposed development appears to be in keeping with the character of the area and the Zoning Ordinance; however, the development should be shown in its entirety on the site plan since modifications will be made to the interior parking area shared between the business sites to ensure compliancy.

Based upon the preceding, this application is recommended for Holdover to the October 5, 2017 meeting with revisions due by September 15th to address the following:

- 1) Submission of a two-lot subdivision application;
- 2) Revision of the site plan to depict the planned unit development in its entirety;
- 3) Revision of the site plan to show the location of the service window;
- 4) Revision of the handicap parking space to meet the minimum 9'x 18' parking stall dimension requirements;
- 5) Revision to indicate the minimum existing right-of-way width for both Moffett Road and Forest Hill Drive so that it can be determined if right-of-way dedication is required;
- 6) Indicate the height of the order board;
- 7) Depict provision of sidewalks as noted in the report;
- 8) Compliance with Engineering comments (ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and/or ALDOT and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm

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- 9) Compliance with Traffic Engineering comments (Site is limited to the access as shown on the proposed development with direct access to Moffett Road and Forest Hill Road denied. On-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.).

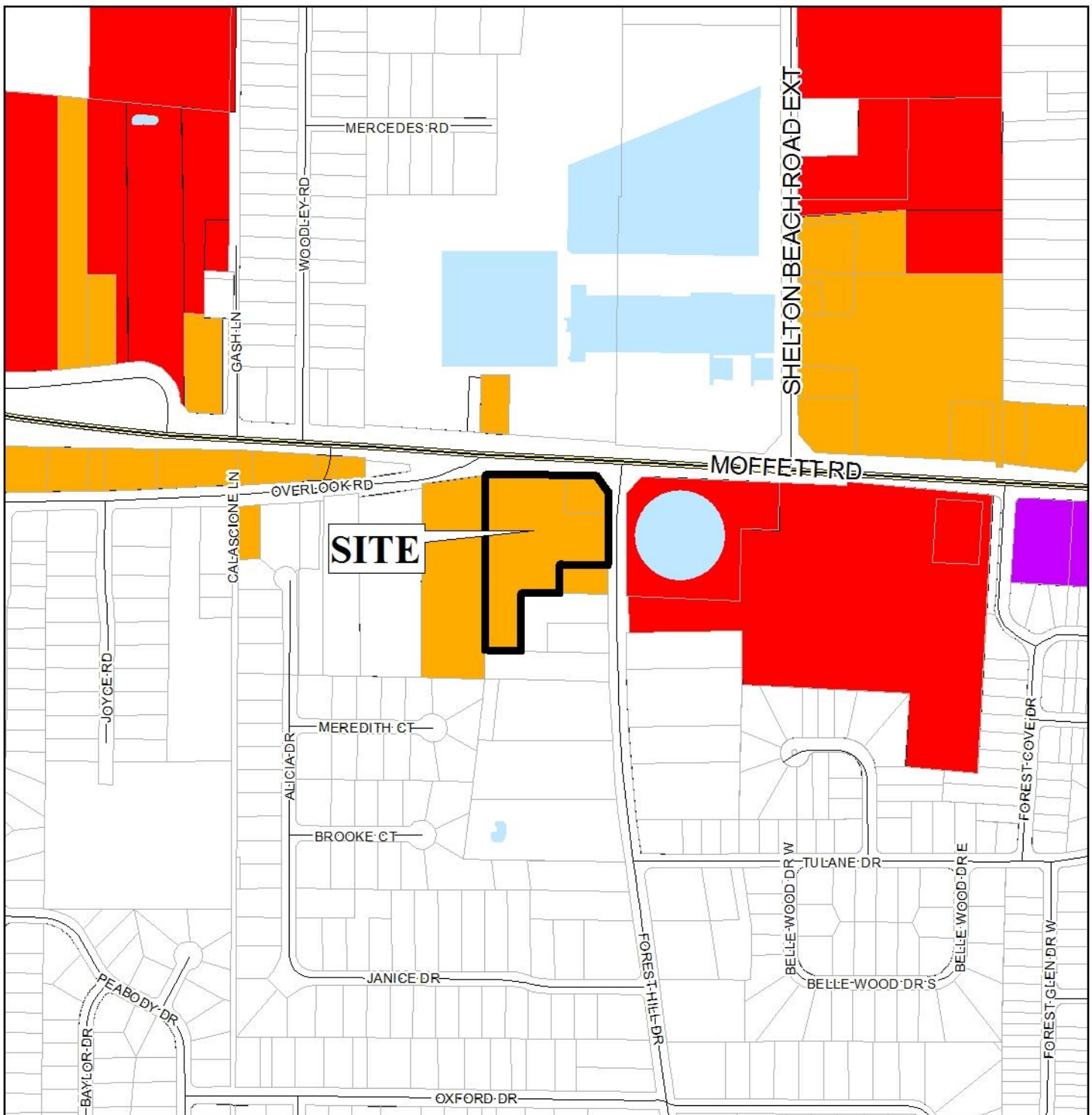
LOCATOR MAP



APPLICATION NUMBER 16 DATE September 7, 2017
APPLICANT Ken Knuckles (Development Management Group, LLC)
REQUEST Planned Unit Development



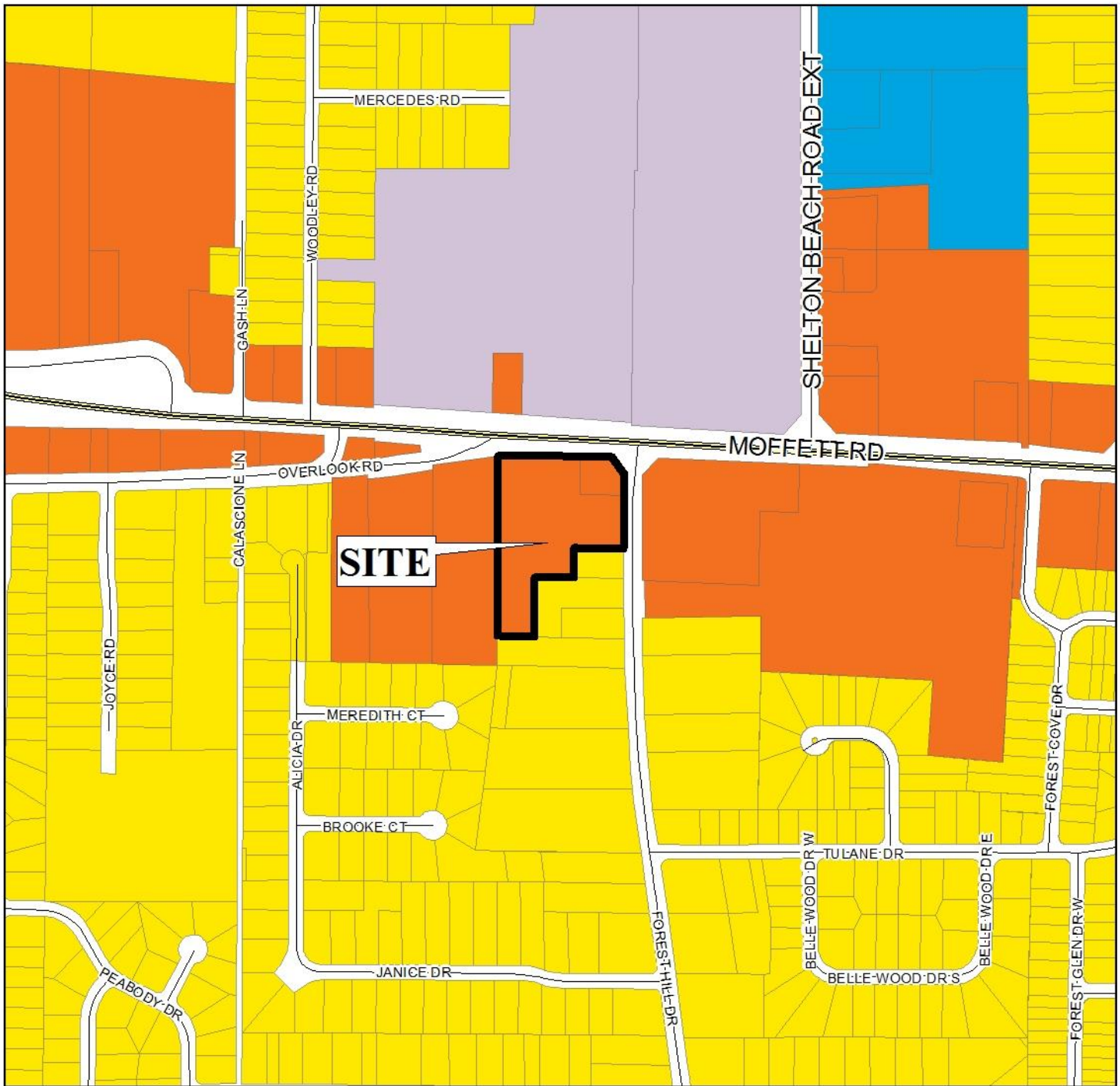
LOCATOR ZONING MAP



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FLUM LOCATOR MAP

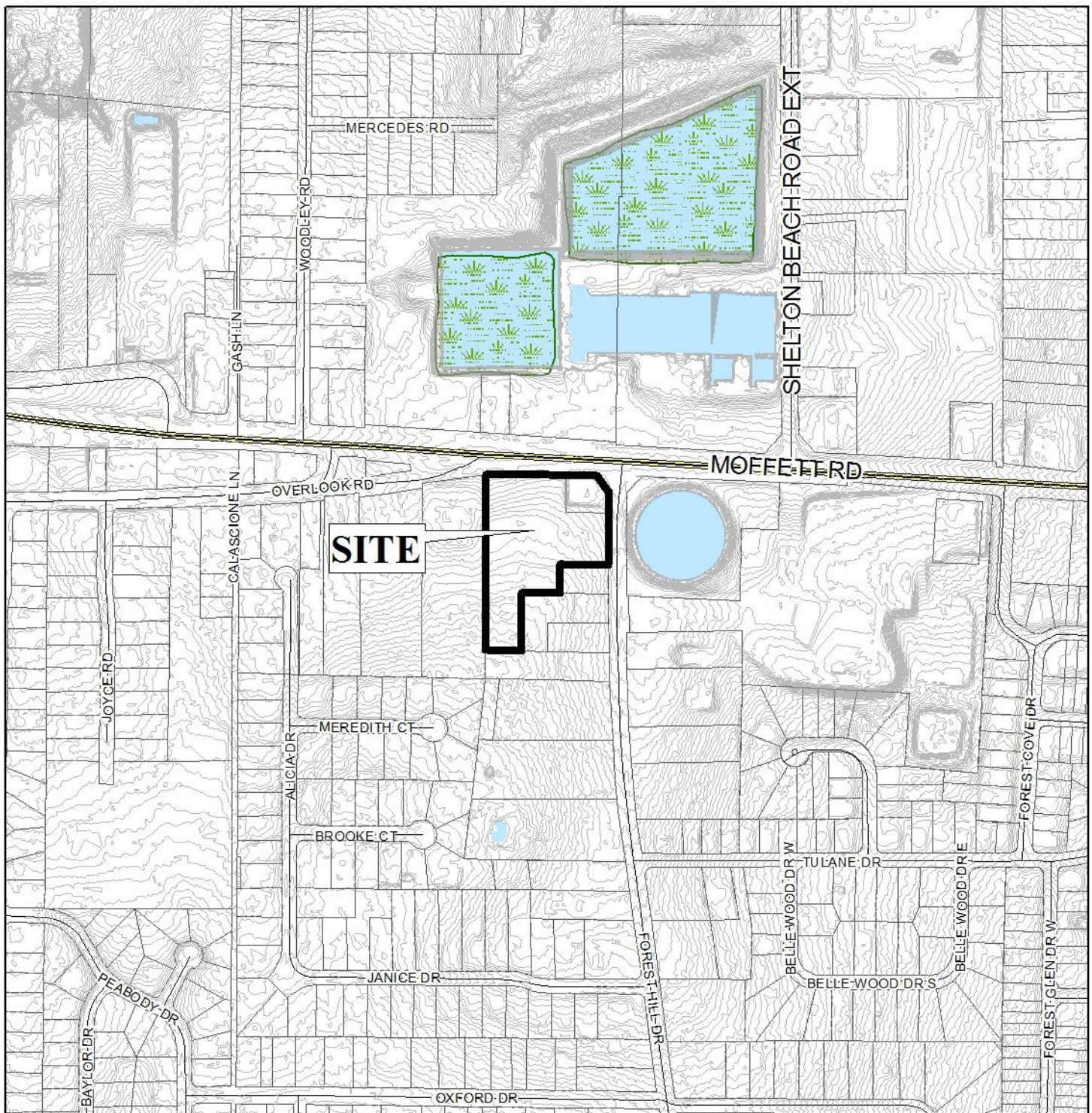


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Low Density Residential	Neighborhood Center- Traditional	Downtown Waterfront	Water Dependent
Mixed Density Residential	Traditional Corridor	Light Industry	Parks & Open Space
Downtown	Neighborhood Center- Suburban	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



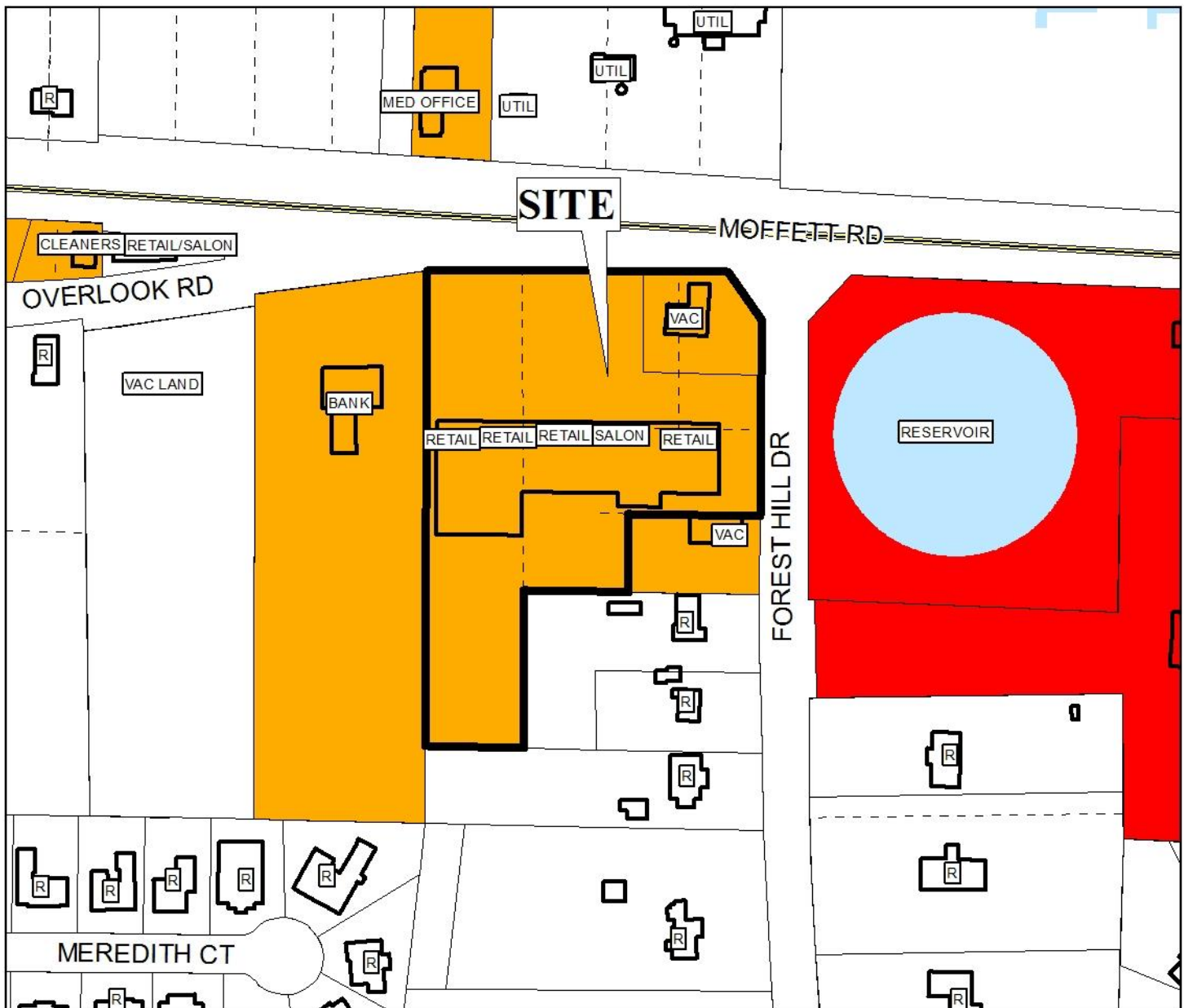
ENVIRONMENTAL LOCATOR MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



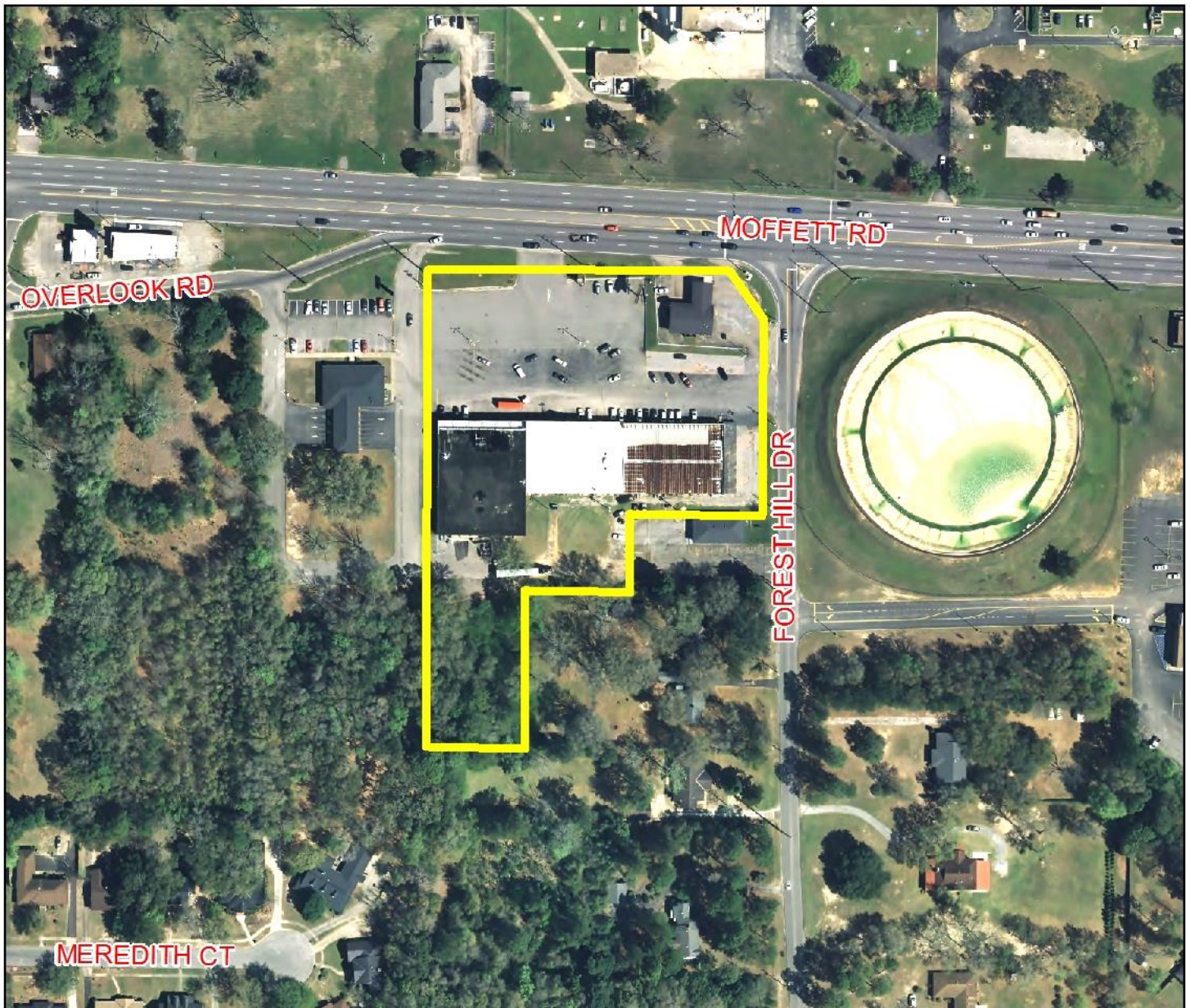
The site is surrounded by miscellaneous commercial and residential units.

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL

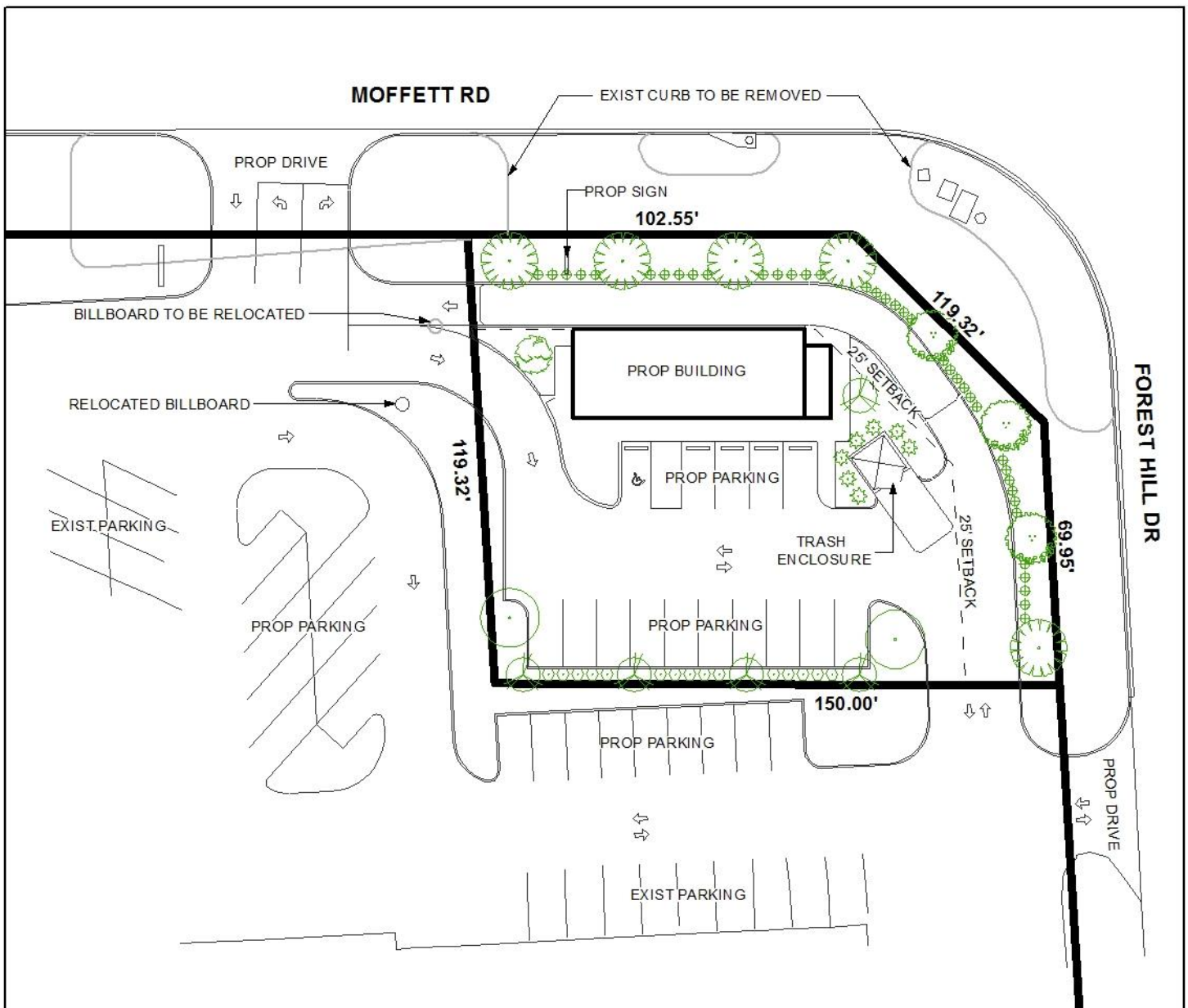


The site is surrounded by miscellaneous commercial and residential units.

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SITE PLAN



The site plan illustrates the existing parking, proposed building, proposed parking, proposed drives, and setbacks.

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