

**PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT****Date: July 10, 2003**

DEVELOPMENT NAME Westbury Square Subdivision, Regulations of and Addition to Lots 2, 3 & 4

SUBDIVISION NAME Westbury Square Subdivision, Regulations of and Addition to Lots 2, 3 & 4

LOCATION 3920 and 3932 Cottage Hill Road and 715 Azalea Road
(Northeast corner of Cottage Hill Road and Azalea Road)

PRESENT ZONING B-2, Neighborhood Business

AREA OF PROPERTY 2.4± Acres

CONTEMPLATED USE Shared access between two lots

**TIME SCHEDULE
FOR DEVELOPMENT** Immediately

**ENGINEERING
COMMENTS** Even though site is already covered with impervious materials, stormwater detention will be required to reduce flooding concerns if the existing site is to be razed and re-graded for the new development. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

REMARKS The applicant is requesting PUD approval to allow shared access between two building sites and subdivision approval to create two legal lots of record.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to

consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

As illustrated on the site plan, the site consists of two lots, the lot to the East will be redeveloped with a fast food restaurant with drive-thru, and the corner of lot will be redeveloped with a new drug store with drive-thru. The two lots will share access to Azalea Road and Cottage Hill Road; Lot 2 will also have a second curb cut to Cottage Hill Road. It should also be noted that the existing curb cuts that are not part of the proposed redevelopment must be closed, back-filled and sodded.

As both lots will consist of new development, full compliance with the landscaping and tree planting requirements of the Ordinance is required. Additionally, sidewalks along both Cottage Hill Road and Azalea Road are also required.

Both Cottage Hill Road and Azalea Road are planned major streets as illustrated on the Major Street Plan and as such the dedication of any necessary right-of-way to provide 50-feet from the centerline of both streets should be required.

Regarding the proposed subdivision, Lot 2 would have only 15-feet of frontage to Azalea Road; a minimum of 25-feet of frontage is required, thus this 15-foot wide "flag" should be eliminated, or increased to 25-feet in width.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) that the existing curb cuts that are not part of the redevelopment of the corresponding lots be closed, back-filled and sodded; 2) full compliance with the landscaping and tree planting requirements of the Ordinance; 3) provision of sidewalks along both street frontages; and 4) full compliance with all municipal codes and ordinances.

Subdivision: With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of the necessary right-of-way to provide 50-feet from the centerline of both Cottage Hill Road and Azalea Road; and 2) that the "flag" on Lot 2 be eliminated or increased to 25-feet in width.

LOCATOR MAP



APPLICATION NUMBER 16 DATE July 10, 2003

APPLICANT Westbury Square Subdivision, Resubdivision of
and Addition to Lots 2,3 and 4

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



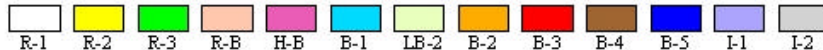
The site is located in an area of mixed land use.

APPLICATION NUMBER 16 DATE July 10, 2003

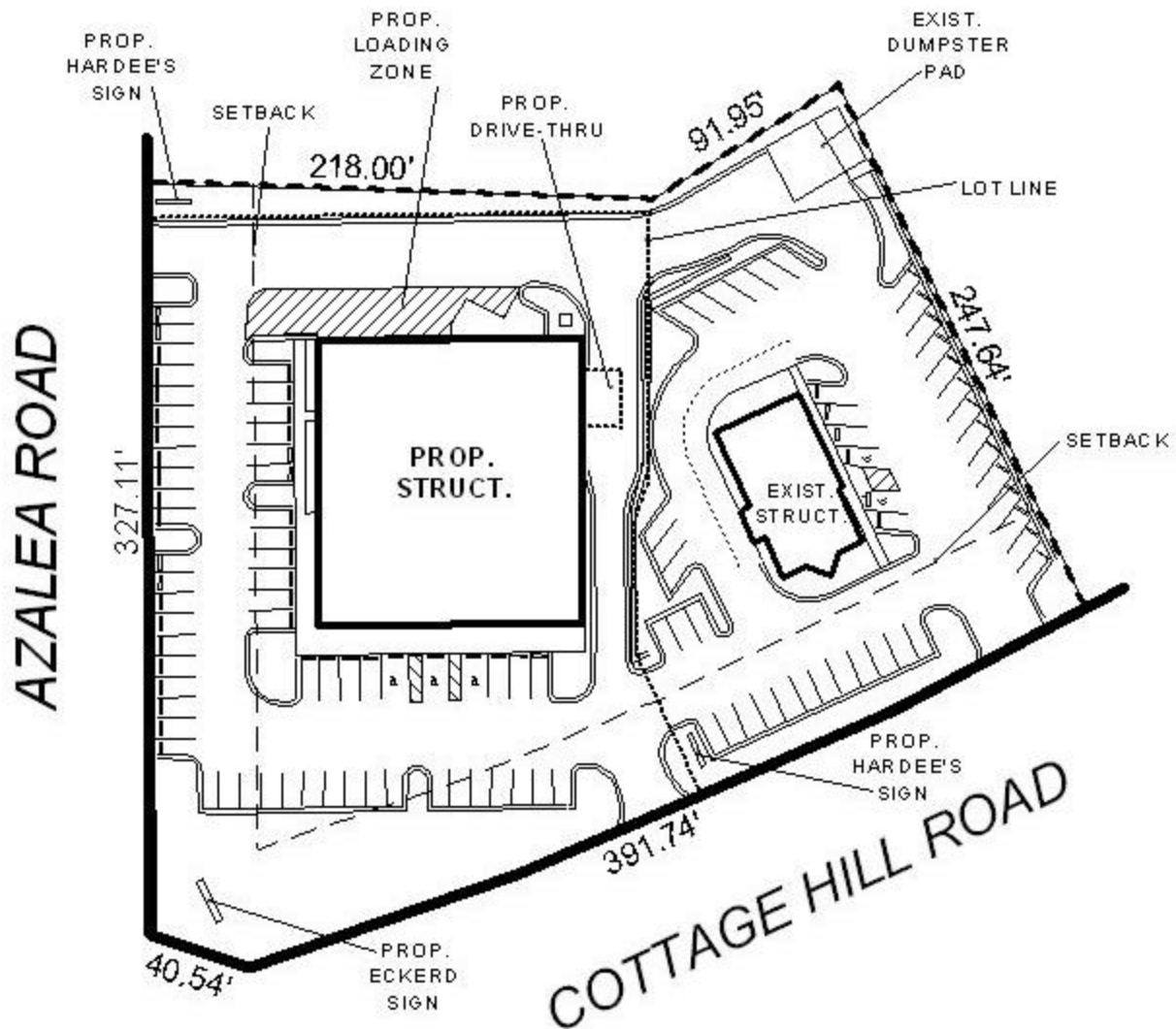
APPLICANT Westbury Square Subdivision, Resubdivision of and Addition to ALots 2,3 and 4

REQUEST Planned Unit Development

LEGEND



SITE PLAN

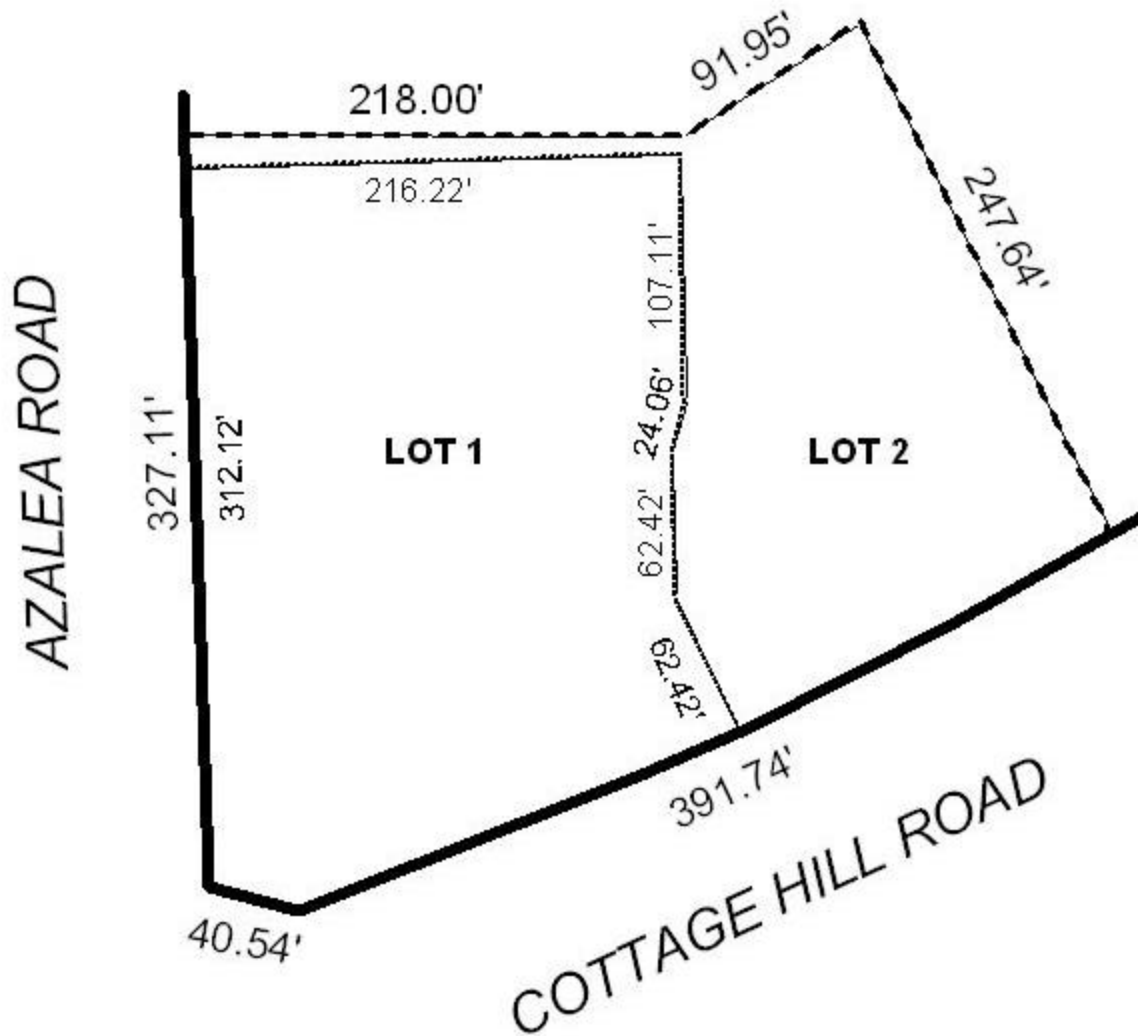


The site is located at the Northeast corner of Cottage Hill Road and Azalea Road. The plan illustrates the existing and proposed structures, parking and signs.

APPLICATION NUMBER 16 DATE July 10, 2003
 APPLICANT Westbury Square Subdivision, Resubdivision of and
Addition of Lots 2, 3 and 4
 USE/REQUEST Planned Unit Development



DETAIL SITE PLAN



APPLICATION NUMBER 16 DATE July 10, 2003
APPLICANT Westbury Square Subdivision, Resubdivision of and
Addition to Lots 2, 3 and 4
USE/REQUEST Subdivision

