

HIGHWAY 90 - INTERSTATE HIGHWAY 10 **BUSINESS PARK SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate. All projects within the Mobile County Fire Jurisdiction must comply with the 2006 International Fire Code, as adopted.

The plat illustrates the proposed 4 lot, 38.3 ± acre subdivision which is located on the North side of Kooiman Road, 200'± East of U S Highway 90, extending to the East side of Linwood Steiner Road, 280'± North of Kooiman Road, and extending to the East terminus of Linwood Steiner Road. The applicant states that the subdivision is served by public water and sanitary sewer facilities. The site is currently undeveloped.

The site has frontage onto three roads: U.S. Highway 90 / Barry Drive, Kooiman Road and Linwood Steiner Road. Kooiman Road and Linwood Steiner Roads are minor streets, however, Linwood Steiner Road only has a 30-foot wide right-of-way, while Kooiman Road has a 60-foot right-of-way. Linwood Steiner Road stubs into the site, and as no access to the site is proposed (due to the depiction of a 6-foot high privacy fence on the plat), dedication should not be required. U.S. Highway 90 is a major street, with adequate right-of-way (Barry Drive occurs within a portion of the right-of-way).

Proposed lots 1, 3 and 4 have a minimum of 299 feet of frontage onto a road, while proposed lot 2 only has 60 feet (160 feet with radii) of frontage. Lot 4, additionally, is a corner lot, with frontage on two roads. It is recommended that lots 1 and 3 be limited to two curb-cuts each, that lot 4 be limited to two curb-cuts onto Kooiman Road and one curb-cut onto Barry Drive (due to its nearby intersection with U. S. Highway 90), and that lot 2 be limited to one curb-cut, with the size, design and location of all curb-cuts to be approved by Mobile County Engineering (and ALDOT for the Barry Drive/US Highway 90 curb-cut), and comply with AASHTO standards.

The frontage of lot 2 on Kooiman Road is designed to allow for the construction of a road into the lot, thus a note should be placed on the plat stating that no additional subdivision of lot 2 shall be allowed until additional frontage on a public street is provided.

Linwood Steiner Road stubs into proposed lot 2, it appears that access is not intended due to a proposed privacy fence between the subdivision site and the residences located on Linwood

Steiner Road. A note should be placed on the final plat, if approved, stating that all lots are denied access to Linwood Steiner Road.

The 25-foot minimum building setback line is depicted on the plat, however, it should be adjusted for lot 2 so that a "box" occurs where Linwood Steiner Road stubs into the site, and where the pole of lot 2 meets the "flag" portion of the site.

A common area is depicted on the plat. The note on the preliminary plat stating that maintenance shall be the responsibility of property owners should be retained for the final plat, if approved.

Residences abut the site. Any commercial development within the proposed subdivision will be required to provide a buffer which complies with Section V.A.7. of the Subdivision Regulations, and such a buffer is depicted on the preliminary plat, as is a note. The note and buffer should also be placed on the final plat, if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

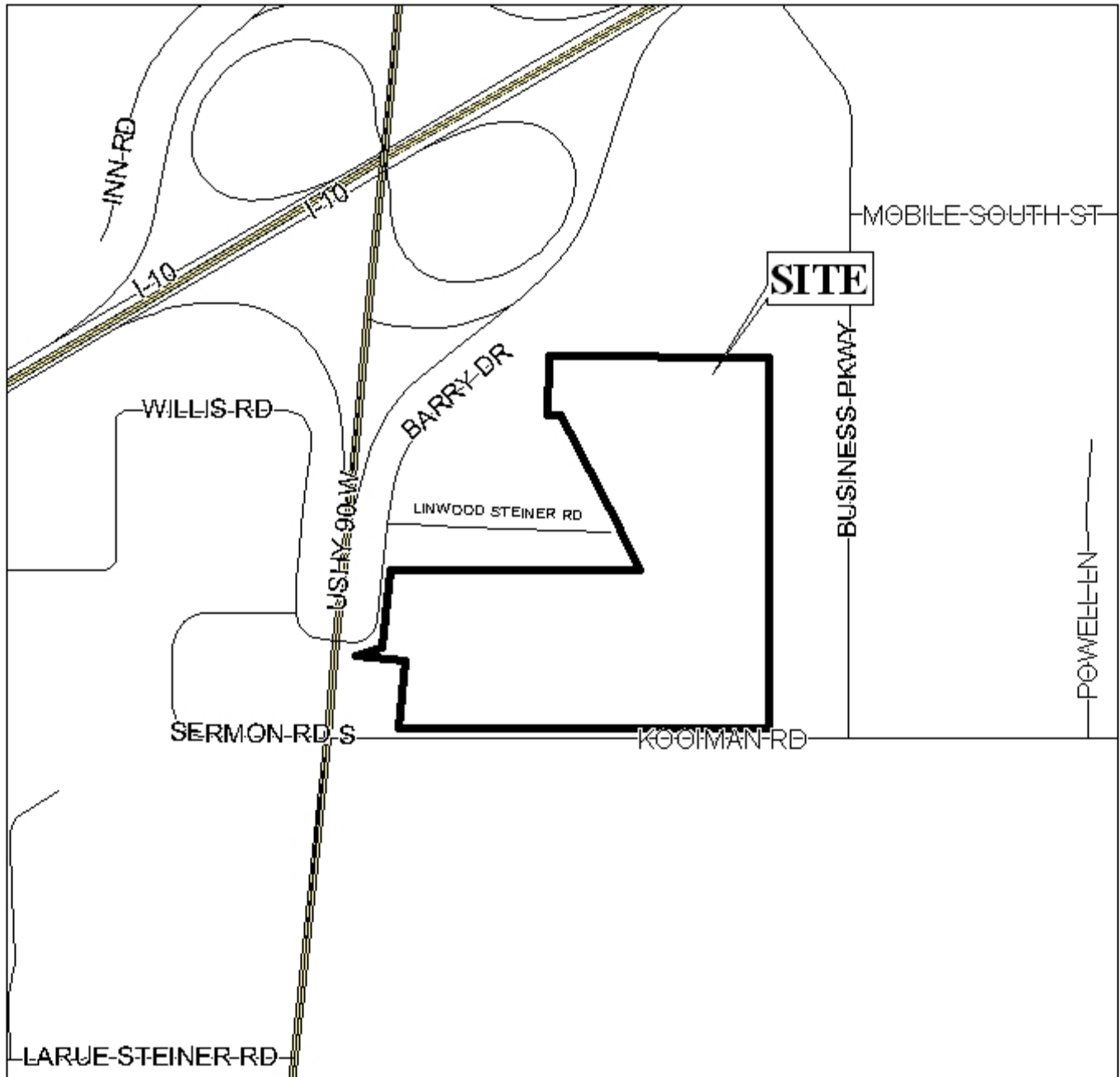
Finally, while the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that lots 1 and 3 are limited to two curb-cuts each;
- 2) Placement of a note on the final plat stating that lot 4 is limited to two curb-cuts onto Kooiman Road, and one curb-cut onto Barry Drive;
- 3) Placement of a note on the final plat stating that lot 2 is limited to one curb-cut, and that no future subdivision of lot 2 shall be allowed until additional frontage on a public street is provided via the construction of a road;
- 4) Placement of a note on the final plat stating that the size, design and location of all curb-cuts are to be approved by Mobile County Engineering (and ALDOT for Barry Drive), and to conform to AASHTO standards;
- 5) Placement of a note on the plat stating that all lots are denied access to Linwood Steiner Road;

- 6) Revision of the 25-foot minimum building setback line for lot 2 so that a “box” occurs where Linwood Steiner Road stubs into the lot, and where the pole of lot 2 meets the “flag” portion of the lot;
- 7) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 8) Retaining of the note stating that the maintenance of the depicted common area detention facilities is the responsibility of the property owners;
- 9) Placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 10) Placement of a note on the final plat, as depicted on the preliminary plat, stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

LOCATOR MAP

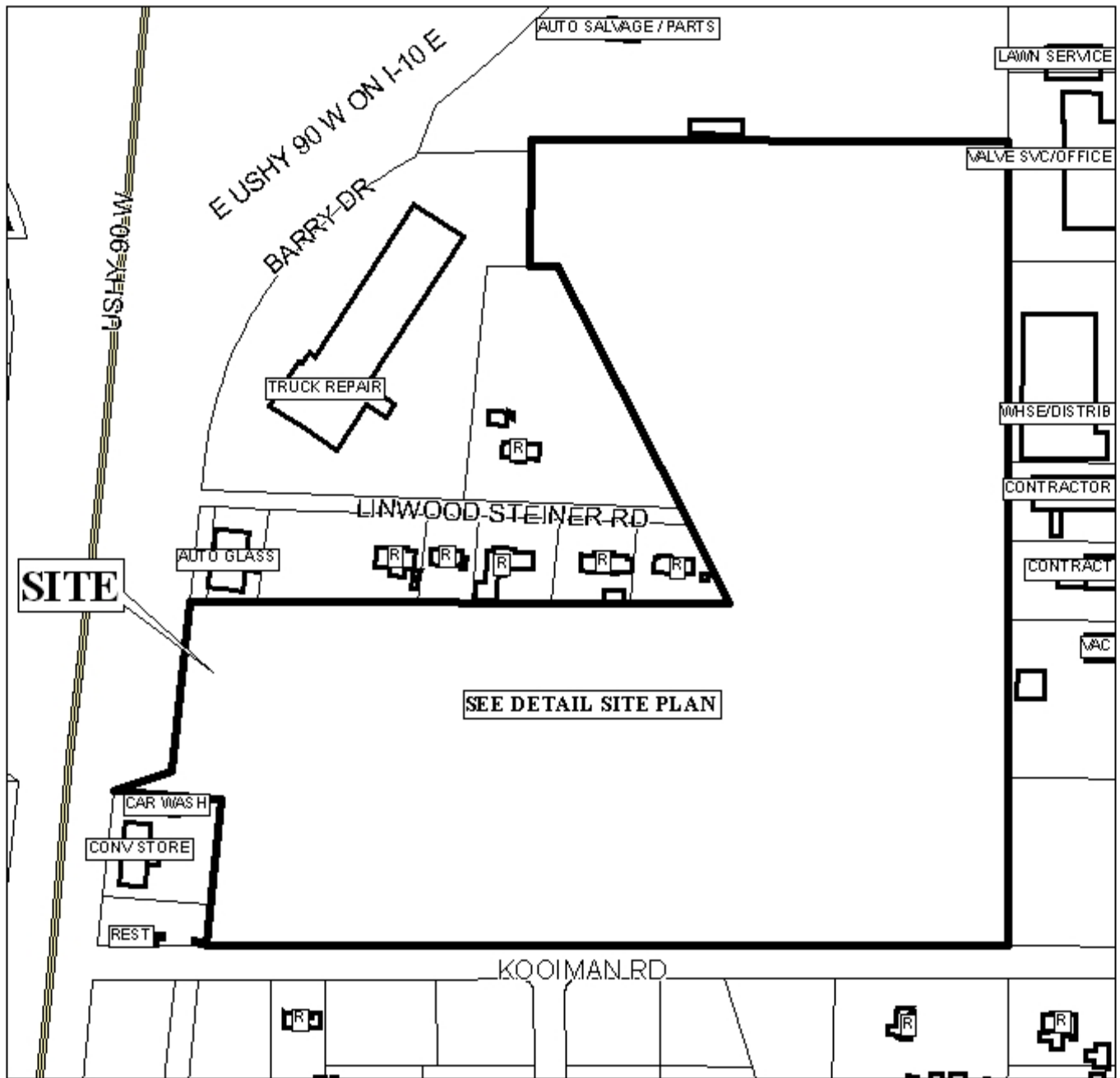


APPLICATION NUMBER 16 DATE August 7, 2008
APPLICANT Highway 90 - Interstate Highway 10 Business Park Subdivision
REQUEST Subdivision



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HIGHWAY 90 - INTERSTATE HIGHWAY 10 BUSINESS PARK SUBDIVISION



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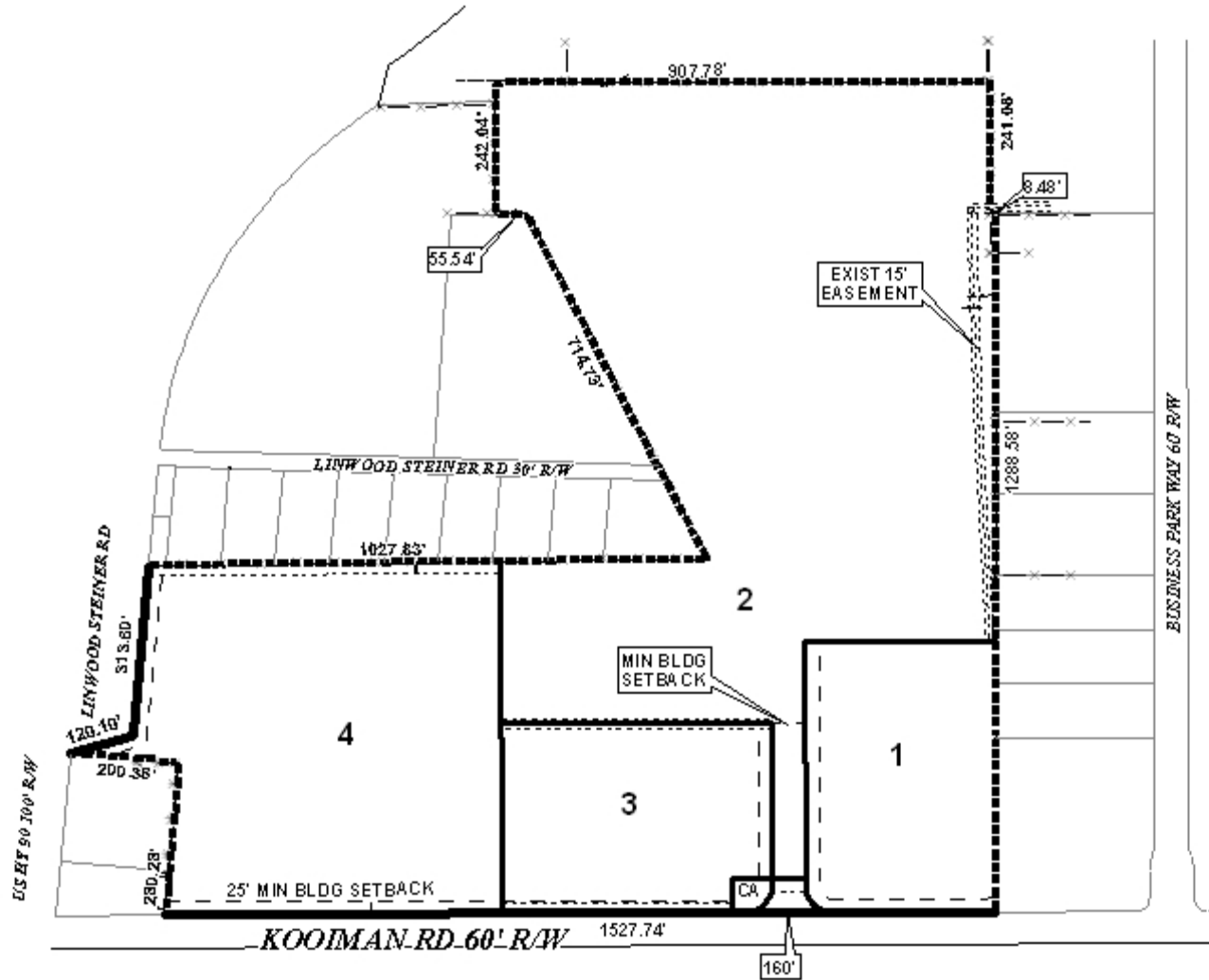
LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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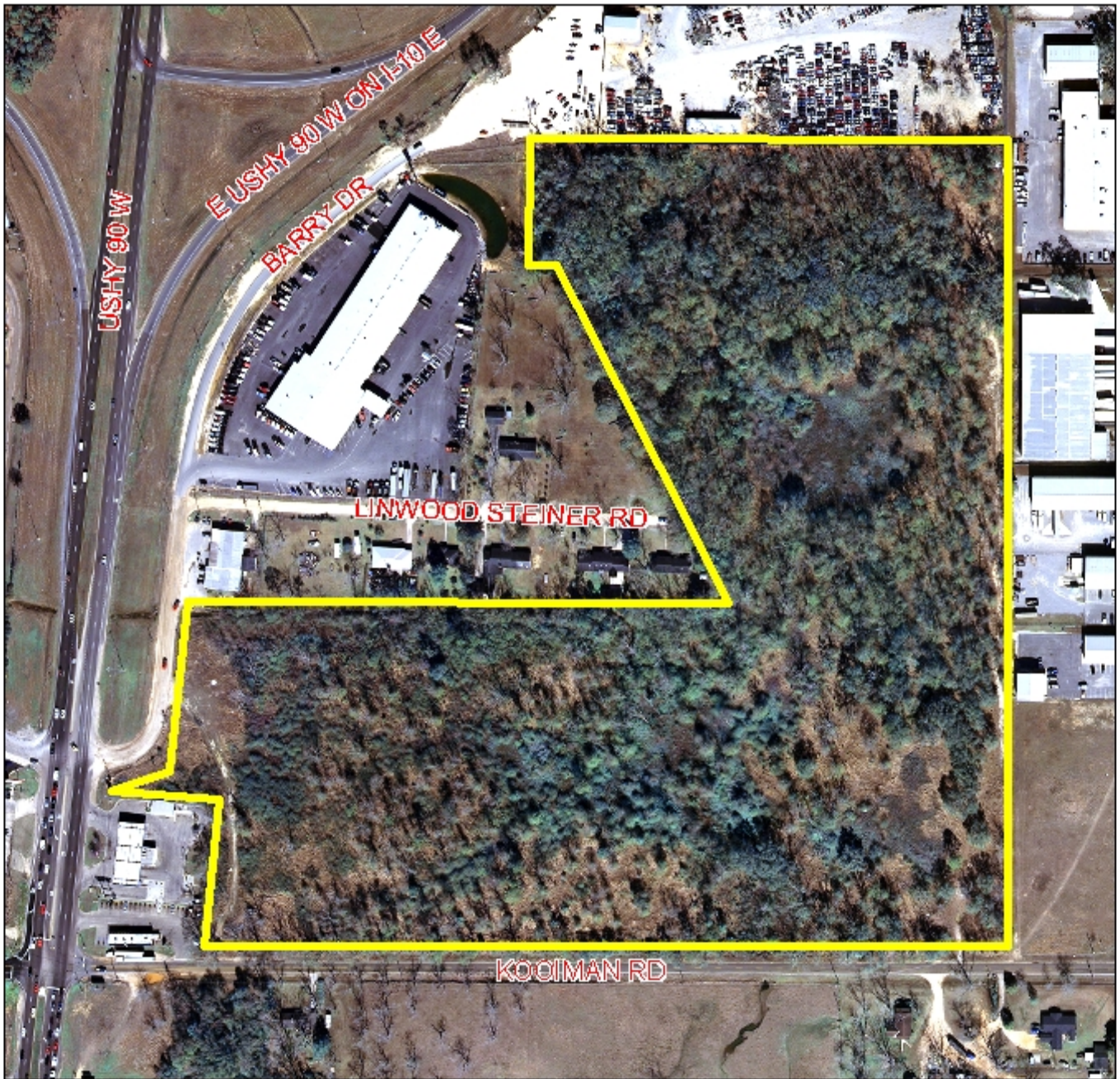
DETAIL SITE PLAN



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