

## **HEAVEN'S WAY SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity Assurance application is approved by Volkert Engineering, Inc. However, water and sewer extensions will be required.

The plat illustrates the proposed 22-lot, 10.0 ± acre subdivision which is located on the South side of Broughton Road, 1,000'+ East of Hardeman Road. The subdivision is served by both public water and sewer, and is located within the Planning Jurisdiction.

The purpose of this application is to subdivide an undeveloped parcel into 22 lots. It should be noted that a similar application (24 lots) was approved with conditions by the commission in August 2006. It should be noted the provision of street-stubs to the East and South were a condition of the previously approved subdivision.

The site fronts onto Broughton Road, a paved minor street with adequate right-of-way. The site is undeveloped, but is bounded to the East by a plant nursery, and to the South, West and North by residential uses.

Michael's Court, the cul-de-sac proposed for the subdivision, is approximately 1,160 feet long, which exceeds the 600-foot length recommended in Section V.B.6. of the Subdivision Regulations. To accommodate the proposed length, the plat should be revised to provide a street-stub to the parcel to the East near the midpoint of the proposed street. A street-stub to the parcel South of the site is also recommended in order to facilitate future connections as the general area is developed. A traffic calming device as illustrated on the preliminary plat, to be approved by the Mobile County Engineering Department.

The application proposes new streets, which must be constructed and dedicated to Mobile County Engineering standards prior to signing the Final Plat.

The requirement for street-stubs to the East and South are based upon Section V.B.1. of the Subdivision Regulations, which states: "The street layout shall also provide for the future projection into unsubdivided lands adjoining of a sufficient number of streets to provide convenient circulation." The parcel East of the site is approximately 34 acres, while the parcel South of the site is approximately 19 acres. The parcel East of the site is an operating plant nursery; however, the trend of this area is towards new residential subdivisions. The parcel South of the site appears to contain one or two single-family residences, stables (perhaps for greyhounds or horses) and an oval track. The applicant has stated a desire to create an exclusive subdivision, without connections to adjacent lands. The size of the parcels to the East and South of the site are such as to likely be the subject of future subdivision applications, hence the recommendation for street-stubs should be required.

Two retention common areas are proposed for the subdivision. The retention common area on the South side of the proposed subdivision appears to be accessible by a 15-foot easement.

This site is located in Mobile County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

While the site is in the County, the applicant's engineer will be required to certify that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat, if approved. The plat should also be revised to depict lot sizes to be illustrated in square feet either through labeling or the provision of a table on the Final Plat.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) provision of street-stubs to the East and South;
- 2) provision of traffic calming devices along Michael's Court, to be approved by Mobile County Engineering;
- 3) placement of a note on the final plat stating that maintenance of the common areas, including retention areas, is the responsibility of the home owners;
- 4) placement of a note on the final plat stating that "parcel A" is limited to its existing curb-cuts onto Broughton Road;
- 5) construction and dedication of the new streets to County standards;
- 6) provision of a certification letter from a licensed engineer to the Planning Section of Urban Development, certifying that the stormwater detention, drainage facilities, and release rate comply with the City of Mobile stormwater and flood control ordinances, prior to the signing and recording of the final plat;
- 7) placement of a note on the plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and
- 8) labeling of all lots with size in square feet, or placement of a table on the plat containing the lot size information.

# LOCATOR MAP



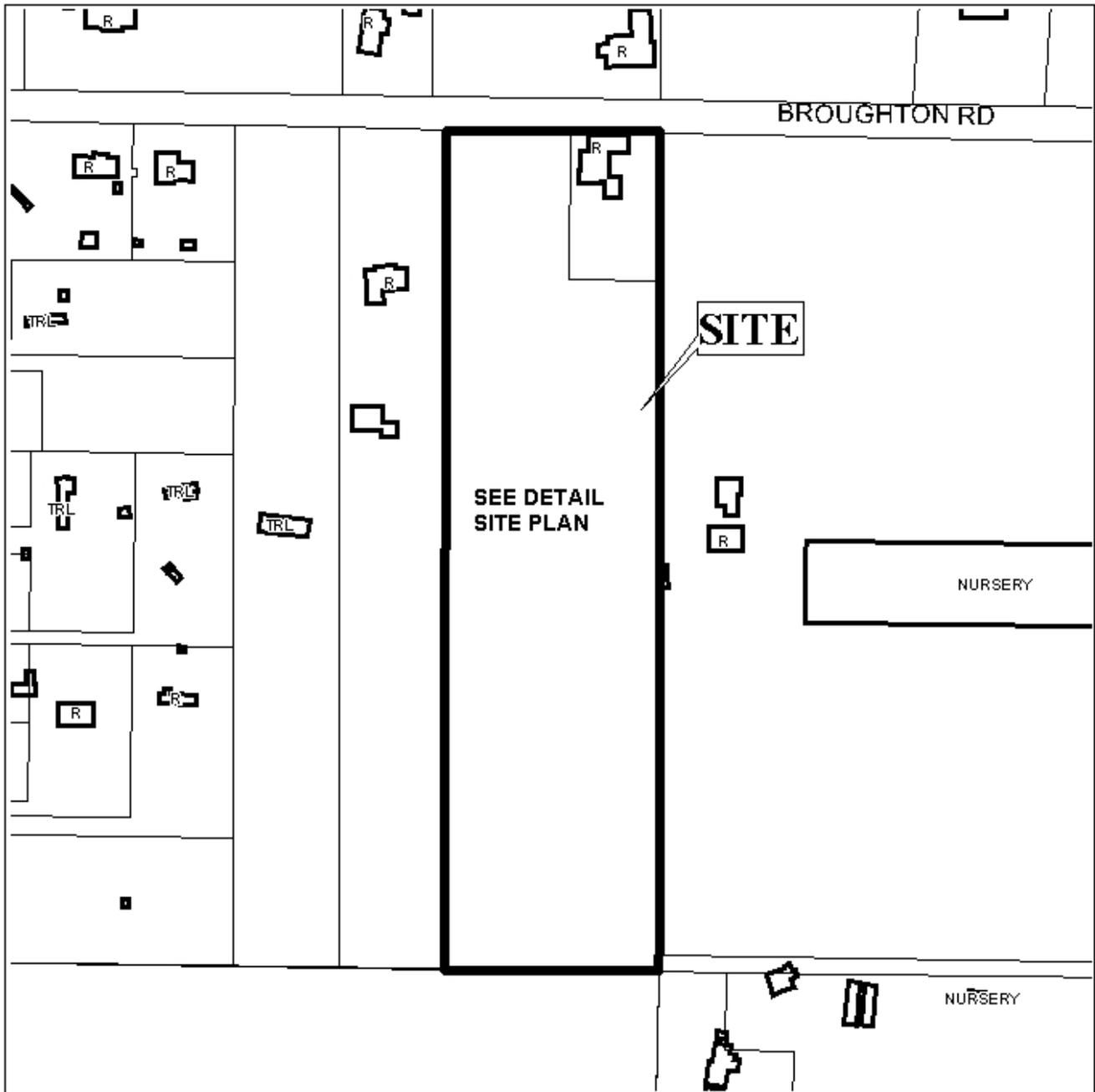
APPLICATION NUMBER 16 DATE April 5, 2007

APPLICANT Heaven's Way Subdivision

REQUEST Subdivision



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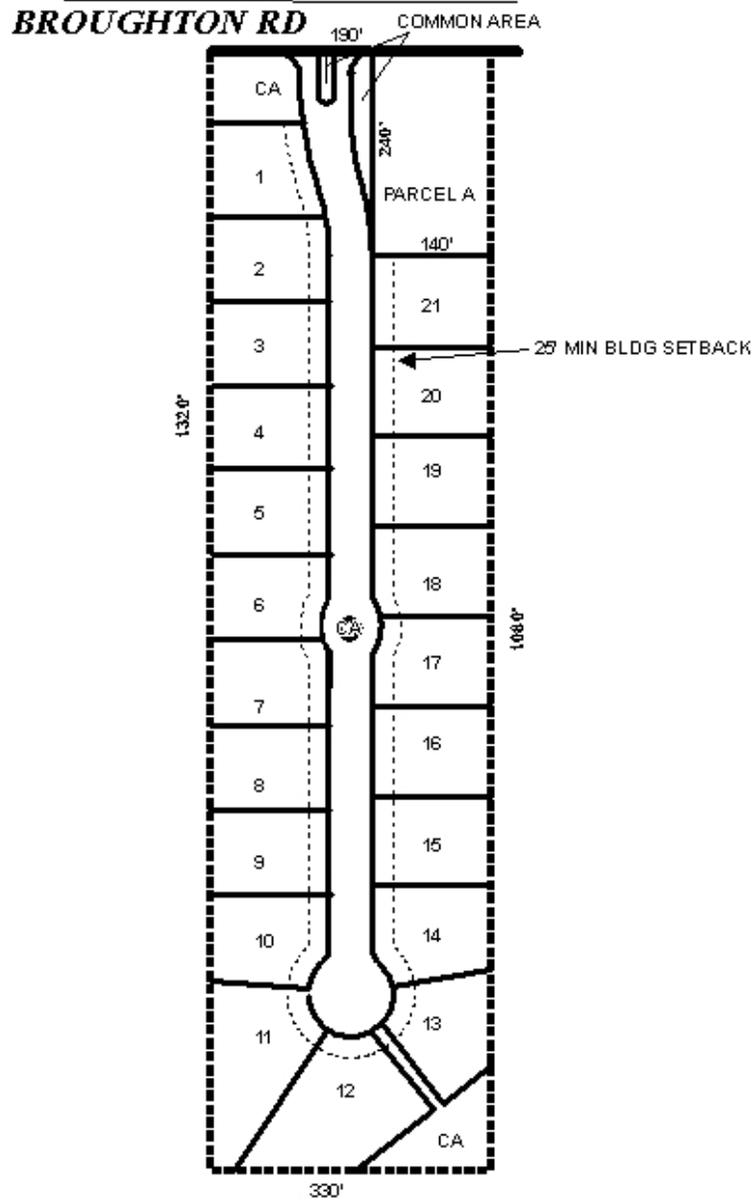
LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

# DETAIL SITE PLAN



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