

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: December 15, 2016****DEVELOPMENT NAME**

Falling Leaf Subdivision, Replat of

SUBDIVISION NAME

Falling Leaf Subdivision, Replat of

LOCATION

3201 Sollie Road
(East side of Sollie Road, 60'± South of Falling Leaf
Avenue and 40'± West of Long Leaf Way)

**CITY COUNCIL
DISTRICT**

District 6

AREA OF PROPERTY

51 Lots /25.7± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a
previously approved Planned Unit Development to allow
reduced setbacks, increased site coverage, and a private
street residential subdivision, and Subdivision approval to
create 51 legal lots of record.

TIME SCHEDULE

None given

**ENGINEERING
COMMENTS**

Subdivision: **FINAL PLAT COMMENTS** (should be addressed prior to submitting the
FINAL PLAT for review and/or signature by the City Engineer):

- A. REMOVE THE COUNTY ENGINEERING DEPT. NOTE FROM THE PLAT. THE COUNTY ENGINEER NO LONGER SIGNS PLATS WITHIN THE MUNICIPAL LIMITS OF THE CITY OF MOBILE.
- B. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- C. Revise the name of the subdivision. It should include reference to the original subdivision of this property.
- D. Provide a reference to the recorded subdivision plat.
- E. Show and label the original lot lines for LOT 51 and LOT 52.
- F. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- G. Show and label the floodway.
- H. Show and label the existing creek.

- I. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- J. Provide and label the monument set or found at each subdivision corner.
- K. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- L. Provide the Surveyor's Certificate and Signature.
- M. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- N. Provide a PUBLIC (Dedicated to the City of Mobile) drainage easement along the existing creek to include the floodway; the width and alignment of the easement shall be coordinated with, and approved by, the City Engineer.
- O. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- P. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- Q. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- R. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Planned Unit Development:

ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:

- 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
- 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
- 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land

Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Subdivision is limited to its one access point to Sollie Road via Falling Leaf Avenue. Lots 1 through 21 and Lot 51-A are denied access to Sollie Road.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64)..

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the adopted City Fire Code and related ordinances (IFC 2012 & appendices). Below are IFC 2012 requirements as related to this project. There may be more requirements than listed below.

503.1.2 Additional access. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

503.2.2 Authority. The fire code official shall have the authority to require an increase in the minimum access widths where they are inadequate for fire or rescue operations.

503.4 Obstruction of fire apparatus access roads. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Section 503.2.1 shall be maintained at all times.

503.4.1. Traffic calming devices. Traffic calming devices shall be prohibited unless approved by the fire code official.

503.6 Security gates. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic

operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.

D103.5 Fire apparatus access road gates. Gates securing the fire apparatus access roads shall comply with all of the following criteria:

1. The minimum gate width shall be 20 feet (6096 mm).
2. Gates shall be of the swinging or sliding type.
3. Construction of gates shall be of materials that allow manual operation by one person.
4. Gate components shall be maintained in an operative condition at all times and replaced or repaired when defective.
5. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official.
6. Manual opening gates shall not be locked with a padlock or chain and padlock unless they are capable of being opened by means of forcible entry tools or when a key box containing the key(s) to the lock is installed at the gate location.
7. Locking device specifications shall be submitted for approval by the fire code official.
8. Electric gate operators, where provided, shall be listed in accordance with UL 325.
9. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.

D104.3 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

SECTION D107

ONE- OR TWO-FAMILY RESIDENTIAL DEVELOPMENTS

D107.1 One- or two-family dwelling residential developments. Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads, and shall meet the requirements of Section D104.3.

Exceptions:

1. Where there are more than 30 dwelling units on a single public or private fire apparatus access road and all dwelling units are equipped throughout with an approved automatic sprinkler system in accordance with Section 903.31.1, 903.3.1.2 or 903.3.1.3 of the International Fire Code, access from two directions shall not be required.
2. The number of dwelling units on a single fire apparatus access road shall not be increased unless fire apparatus access roads will connect with future development, as determined by the fire code official.

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS

cannot guarantee additional sewer service until the Capacity application is approved by Volkert Engineering, Inc.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow reduced setbacks, increased site coverage, and a private street residential subdivision, and Subdivision approval to create 51 legal lots of record. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

Falling Leaf Subdivision was approved by the Commission in 2008 as a gated private street subdivision with standard lot sizes, setbacks and site coverage of 35% maximum. The applicant now desires to amend the Subdivision plat and associated Planned Unit Development (PUD) to allow reduced front and side yard building setbacks and allow for increased site coverage up to 45%. The Subdivision would still be gated with a private street. As originally presented in 2008, the Subdivision was to consist of two phases. However, only one was developed and the current application pertains only to recorded Phase One. No changes to the street lay-out are proposed.

The site is located adjacent to Sollie Road within a “Suburban Neighborhood” Development, per the recently adopted Map for Mobile. The Map for Mobile states that the development framework map and development area descriptions serve as a guide for future land use and design decisions and also for decisions regarding public improvements and projects. The intent of a Suburban Neighborhood Development Area is as follows:

- Emphasize connectivity to surrounding neighborhoods and close services and retail
- Accommodation of pedestrian and bicycle traffic in addition to automobiles
- Appropriate scaled infill development to complement existing character of neighborhoods

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission. It should be noted that PUD approvals expire after one year if no action is taken to implement the PUD.

Phase One consisted of 52 recorded lots. The proposal is to now have 51 lots via the combining of recorded Lots 51 and 52 into one larger lot. All other lot configurations would remain the same as previously recorded. All Common Areas would remain the same as previously recorded. As mentioned, only Phase One is to be revised. As Phase Two has expired, the applicant should be aware that any proposed platting of Phase Two will be reviewed under the 2012 International Fire Code (IFC), or whatever may apply at that time of review, and another access point to Sollie Road will probably be required since more than 30 lots are proposed for the over-all subdivision.

The site fronts Sollie Road, a component of the Major Street Plan with a planned 100' right-of-way. As dedication to provide 50' from the centerline of Sollie Road was previously given with the recording of Falling Leaf Subdivision, Phase One, no further dedication would be required.

All lots will meet the minimum area requirements of the Subdivision Regulations according to the lot dimensions given although the preliminary plat does not give any lot sizes. Therefore, if approved, the plat and site plan should be revised to label each lot with its size in both square feet and acres, or a table should be furnished on the Final Plat and PUD site plan providing the same information. As increased site coverage to 45% is requested, a note should be required on the Final Plat stating the maximum site coverage allowed for all lots.

The plat indicates a 15' front setback along all street frontages within the development and an 8' rear setback for all lots abutting Sollie Road. A note on the plat lists side yard setbacks as no more than 12' combined, except for corner lots where a minimum 3' will be required on the side opposite the side street. However, the 12' combined side yards for standard lots does not specify a minimum side yard setback and could allow for a zero-lot line on one side and a 12' setback on the other side. And as some lots have drainage or utility easements along the side yards, the building setback allowances could become confusing. Therefore, the plat should be revised to show not only the specific street frontage and Sollie Road setbacks, but also the specific side yard setbacks for all lots.

A note should be placed on the Final Plat and site plan stating that each lot is limited to one curb cut, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. A note should also be required on the Final Plat and PUD site plan stating that Lots 1 through 21, and Lot 51-A are denied direct access to Sollie Road.

The same Common Areas recorded with Falling Leaf Subdivision, Phase One are being retained. Therefore, a note should be placed on the Final Plat and PUD site plan stating that the maintenance of the Common Areas is the responsibility of the property owners. As this is a private street subdivision, a similar note pertaining to the maintenance of the private streets should also be placed on the Final Plat, as required in Section VIII.E. of the Subdivision Regulations. A note should also be required on the Final Plat and PUD site plan stating that the gate will remain operational and in use as a condition of private street status.

The plat contains a note stating that there is a 7.5' utility easement along the front of all lots; however, this is not shown graphically on the plat. Therefore, the plat should be revised to illustrate this easement along the front of all lots. Various drainage or utility easements are indicated within the Subdivision. A note should also be required on the Final Plat stating that no structures may be constructed or placed within any easements.

As revisions will be required on the accompanying PUD site plan, two copies of a revised PUD site plan should be submitted to and approved by the Planning and Zoning Department prior to signing the Final Plat.

As a fence is proposed along the rear of properties abutting Sollie Road, a public sidewalk along Sollie Road should be constructed at the time of fence construction. The site plan should be revised to indicate the proposed fence along Sollie Road and a public sidewalk along the Sollie Road right-of-way, or a Sidewalk Waiver application should be submitted and approved.

A note should be placed on the site plan indicating that individual private garbage service will be provided.

There is no indication on the plat or site plan of the location of the existing gates or the existing entry walls. Additionally, it is not clear if the existing gates comply with the IFC requirements for gate width. Additional comments by the Bureau of Fire Prevention may require additional revisions.

As numerous revisions should be made to the preliminary plat and site plan, and as the applicant should consult with the Fire Department concerning its comments which may require further revisions, it is recommended that both applications be heldover to the meeting of January 19, 2017, to allow the applicant make such revisions.

RECOMMENDATION

Subdivision: The application is recommended for holdover to the meeting of January 19, 2017, with revisions due by January 3, 2017, to allow the applicant to make the following revisions and any others possibly required by the Fire Department:

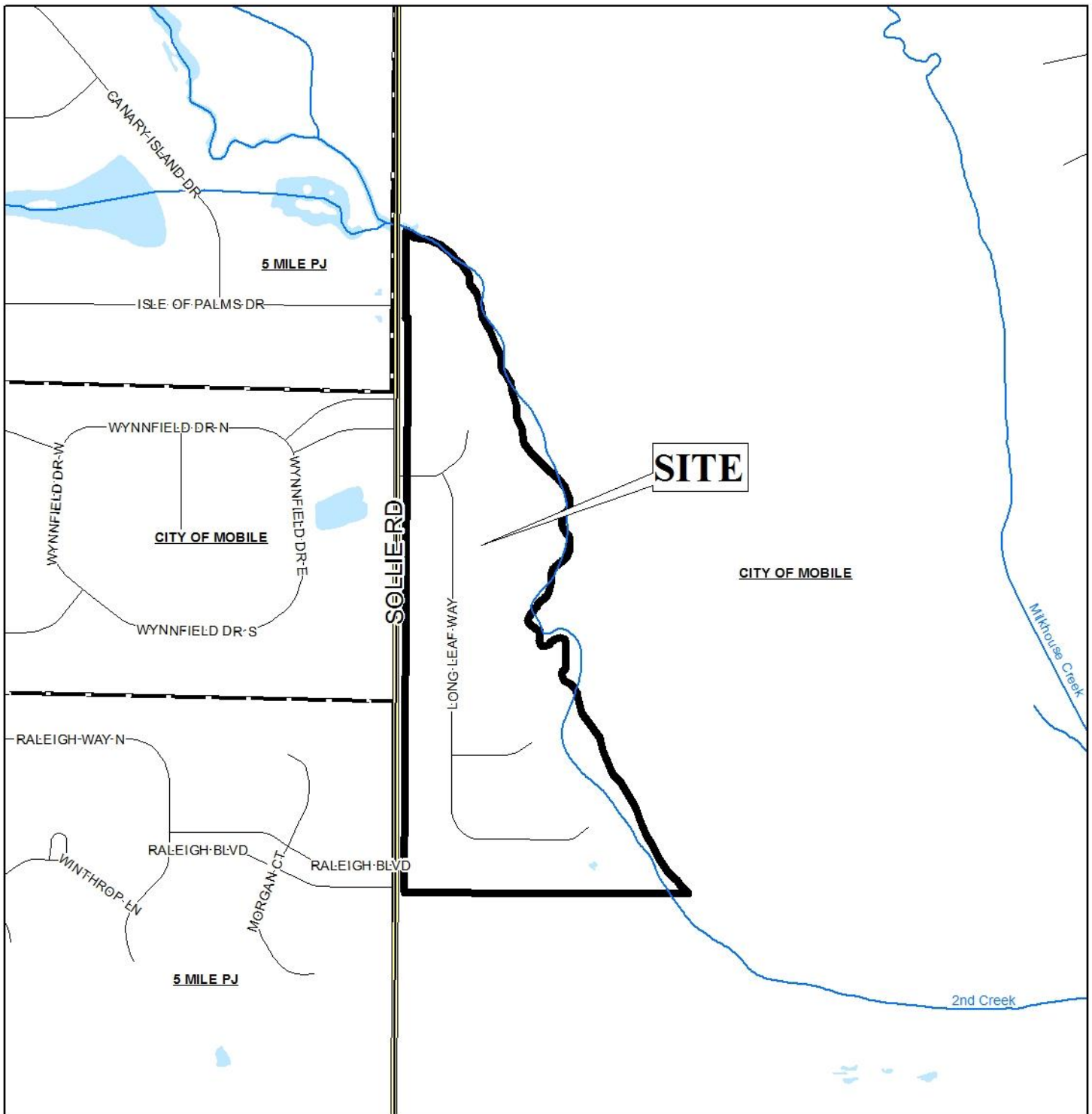
- 1) revision of the plat to label each lot with its size in both square feet and acres, or the furnishing of a table on the plat providing the same information;
- 2) placement of a note on the plat stating that each lot is limited to a maximum site coverage of 45%;
- 3) revision of the plat to show all street frontage setbacks, the Sollie Road setback and the specific side yard setbacks for all lots;
- 4) placement of a note on the plat stating that each lot is limited to one curb cut, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) placement of a note on the plat stating that Lots 1 through 21, and Lot 51-A are denied direct access to Sollie Road;
- 6) placement of a note on the plat stating that maintenance of the Common Areas is the responsibility of the property owners;
- 7) placement of a note on the plat stating that the maintenance of the private streets is the responsibility of the property owners;
- 8) placement of a note on the plat stating that the gate must remain operational and in use as a condition of the continuation of private street status;

- 9) revision of the plat to illustrate the 7.5' utility easement along the front of all lots;
- 10) placement of a note on the plat stating that no structures may be constructed or placed within any easements; and
- 11) any revisions which may be required upon consultation with the Fire Department, including the entry gate.

Planned Unit Development: The PUD is recommended for holdover to the meeting of January 19, 2017, with revisions due by January 3, 2017, to allow the applicant to make the following revisions and any others possibly required by the Fire Department:

- 1) revision of the site plan to label each lot with its size in both square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 2) placement of a note on the site plan stating that each lot is limited to a maximum site coverage of 45%;
- 3) revision of the site plan to show all street frontage setbacks, the Sollie Road setback and the specific side yard setbacks for all lots;
- 4) placement of a note on the site plan stating that each lot is limited to one curb cut, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) placement of a note on the site plan stating that Lots 1 through 21, and Lot 51-A are denied direct access to Sollie Road;
- 6) placement of a note on the site plan stating that maintenance of the Common Areas is the responsibility of the property owners;
- 7) placement of a note on the site plan stating that the maintenance of the private streets is the responsibility of the property owners;
- 8) placement of a note on the site plan stating that the gate must remain operational and in use as a condition of the continuation of private street status;
- 9) revision of the site plan to illustrate the 7.5' utility easement along the front of all lots;
- 10) placement of a note on the site plan stating that no structures may be constructed or placed within any easements;
- 11) revision of the site plan to show the existing gate feature and the existing entry wall (including the height);
- 12) revision of the site plan to show the proposed fence along Sollie Road and state its height;
- 13) revision of the site plan to show a public sidewalk within the Sollie Road right-of-way, or the submission and approval of a Sidewalk Waiver application;
- 14) placement of a note on the site plan indicating that individual private garbage service will be provided; and
- 15) any revisions which may be required upon consultation with the Fire Department.

LOCATOR MAP



APPLICATION NUMBER 16 DATE December 15, 2016
APPLICANT Falling Leaf Subdivision, Replat of
REQUEST Subdivision, Planned Unit Development



LOCATOR ZONING MAP



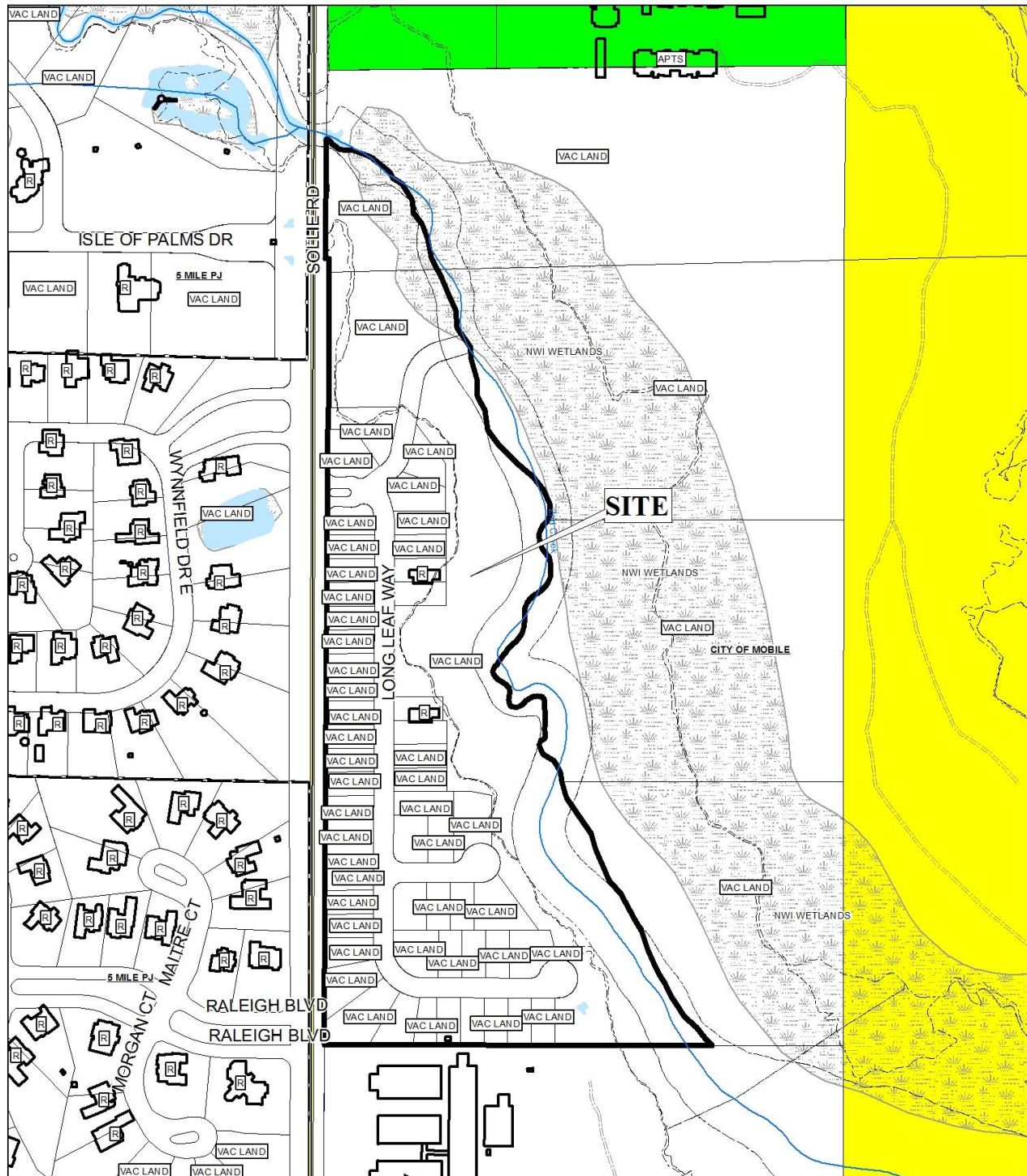
APPLICATION NUMBER 16 DATE December 15, 2016

APPLICANT Falling Leaf Subdivision, Replat of

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units.

APPLICATION NUMBER 16 DATE December 15, 2016

APPLICANT Falling Leaf Subdivision, Replat of

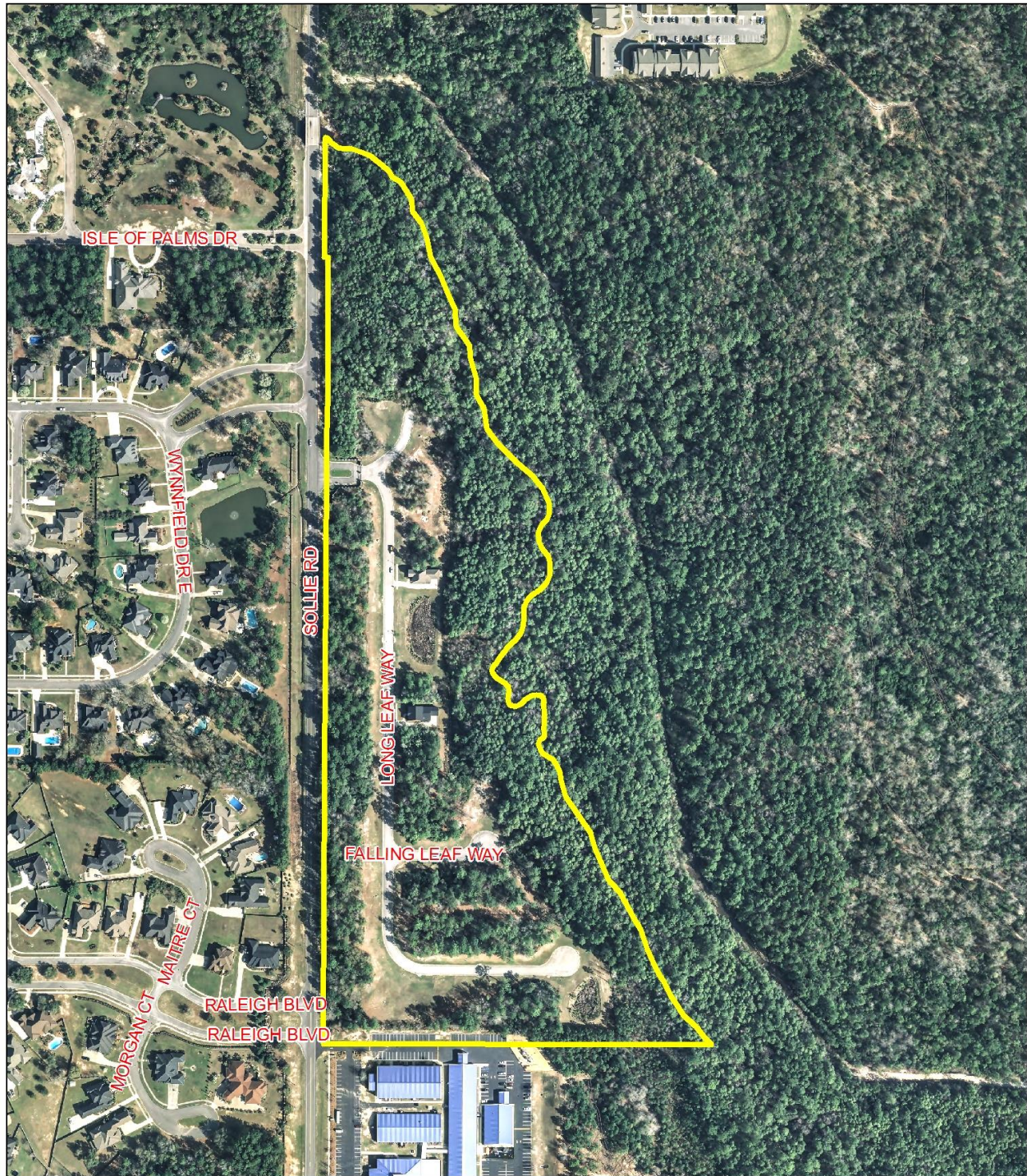
REQUEST Subdivision, Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



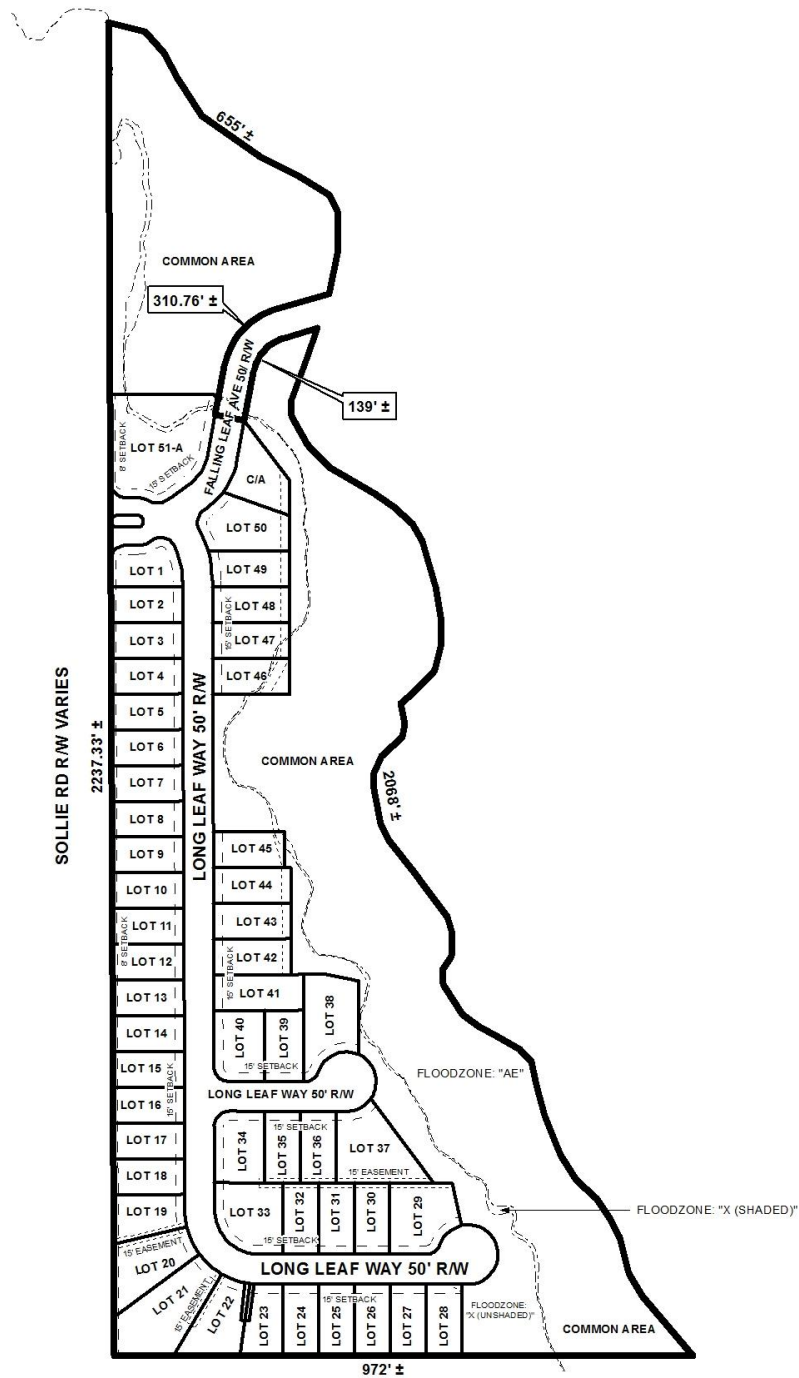
The site is surrounded by residential units.

APPLICATION NUMBER	16	DATE	December 15, 2016
APPLICANT	Falling Leaf Subdivision, Replat of		
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SITE PLAN



The site plan illustrates the proposed lot lines, setbacks, and easements.

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REQUEST Subdivision, Planned Unit Development



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