

ERNEST ESTATES SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 26 - # 88) each lot will receive the following historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition, as follows: LOT 1 – NONE; LOT 2 – 9,500 sf; LOT 3 – 1,750 sf. b. Add a note to the SUBDIVISION PLAT stating that each residential lot will be allowed to add the following amount of impervious area to the lot before storm water detention is required: LOT 1 – 2,500 sf, LOT 2 – NONE, LOT 3 – 1,500 sf. c. Dedication of a corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the southeast corner of LOT 3. d. Add a signature block for the Traffic Engineer and City Engineer. e. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. f. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.

Traffic Engineering Comments: Revise note 1 of Subdivision Notes on the submitted plat to indicate approval of curb cuts (one per each lot) to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 3-lot, 2.1± acre subdivision, which is located at the Northwest corner of Venetia Road and Riverview Avenue, in Council District 4. The applicant states the site is served by city water and sanitary sewer services.

The purpose of this application is to create three legal lots of record from an existing metes-and-bounds parcel. The proposed lots would meet the minimum size requirements.

The site fronts Venetia Road and Riverview Avenue, both minor streets with adequate rights-of-way of 60' and 50' respectively; therefore, no dedication would be required. As per the Traffic Engineering comments, note 1 of the Subdivision Notes on the submitted plat should be revised to indicate approval of curb cuts (one per each lot) to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards. This should also be required on the Final Plat.

The preliminary plat indicates the 25' minimum building setback line along Venetia Road only. Therefore, the plat should be revised to illustrate a 25' minimum building setback line along both Venetia Road and Riverview Avenue. The plat should also be revised to comply with Section V.D.6. of the Subdivision Regulations to dedicate a radius curve at the intersection of Venetia Road and Riverview Avenue, to be coordinated with City Engineering and Traffic Engineering..

As on the preliminary plat, the lot sizes should be labeled in both square feet and acres on the Final Plat, adjusted for any dedications, or a table should be furnished on the Final Plat providing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

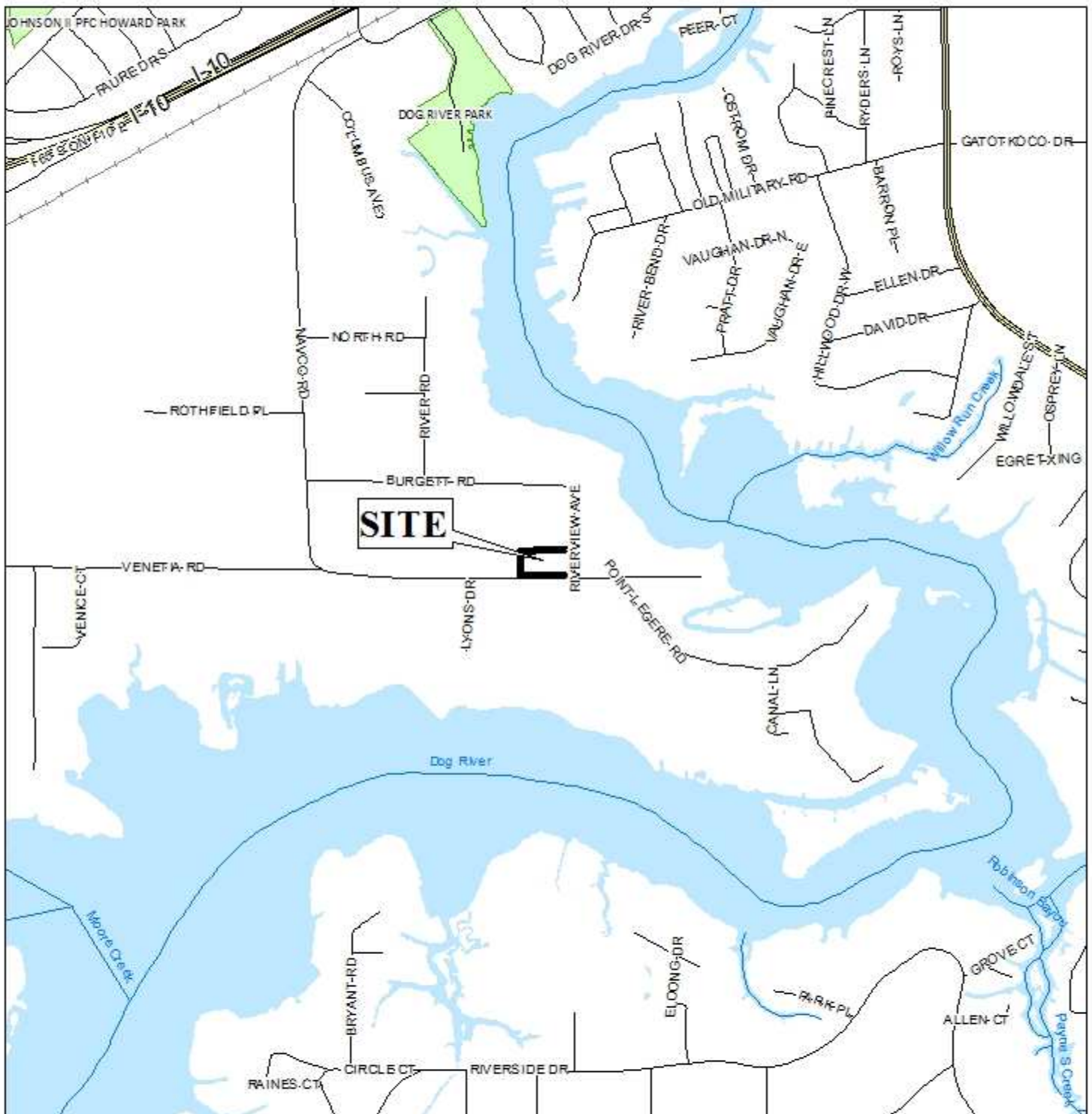
The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that each lot is limited to one curb cut, with the size, location and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards;
- 2) revision of the plat to indicate the 25' minimum building setback line along both Venetia Road and Riverview Avenue;
- 3) dedication of a radius curve, compliant with Section V.D.6. of the Subdivision Regulations, at the intersection of Venetia Road and Riverview Avenue, to be coordinated with City Engineering and Traffic Engineering;
- 4) retention of the labeling of each lot with its size in both square feet and acres, adjusted for any required dedication on Lot 3, or the furnishing of a table on the Final Plat providing the same information;
- 5) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities;
- 6) subject to the Engineering Comments: *(The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 26 - # 88) each lot will receive the following historical credit of impervious area towards storm water detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition, as follows: LOT 1 – NONE; LOT 2 – 9,500 sf; LOT 3 – 1,750 sf. b. Add a note to the SUBDIVISION PLAT stating that each residential lot will be allowed to add the following amount of impervious area to the lot before storm water detention is required: LOT 1 – 2,500 sf, LOT 2 – NONE, LOT 3 – 1,500 sf. c. Dedication of a corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the southeast corner of LOT 3. d. Add a signature block for the Traffic Engineer and City Engineer. e. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. f. Add a note that sidewalk is required to be constructed along*

the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.);

- 7) subject to the Traffic Engineering comments: *(Revise note 1 of Subdivision Notes on the submitted plat to indicate approval of curb cuts (one per each lot) to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards.); and*
- 8) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

LOCATOR MAP



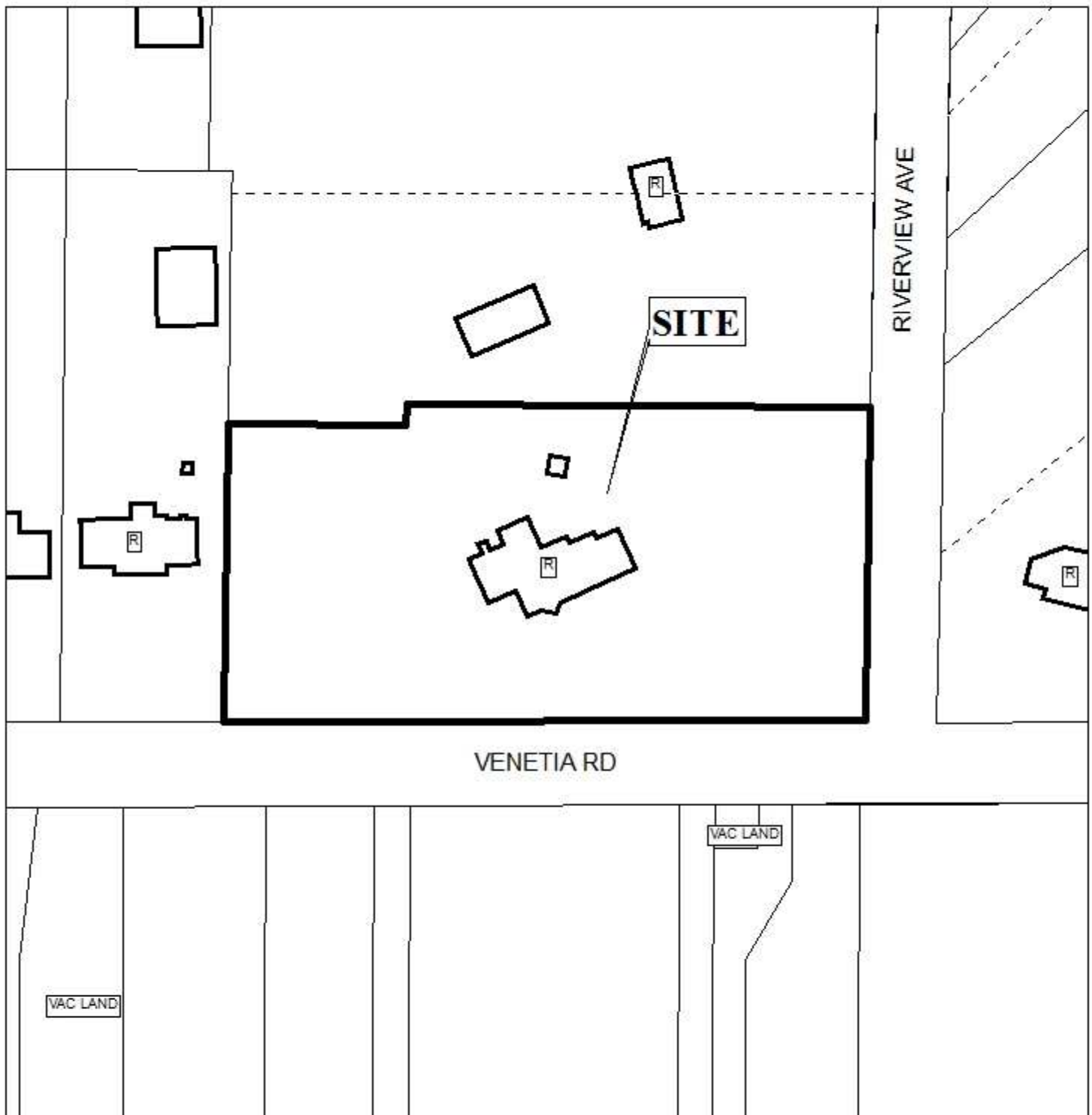
APPLICATION NUMBER 16 DATE January 16, 2014

APPLICANT Ernes Estates Subdivision

REQUEST Subdivision



ERNEST ESTATES SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



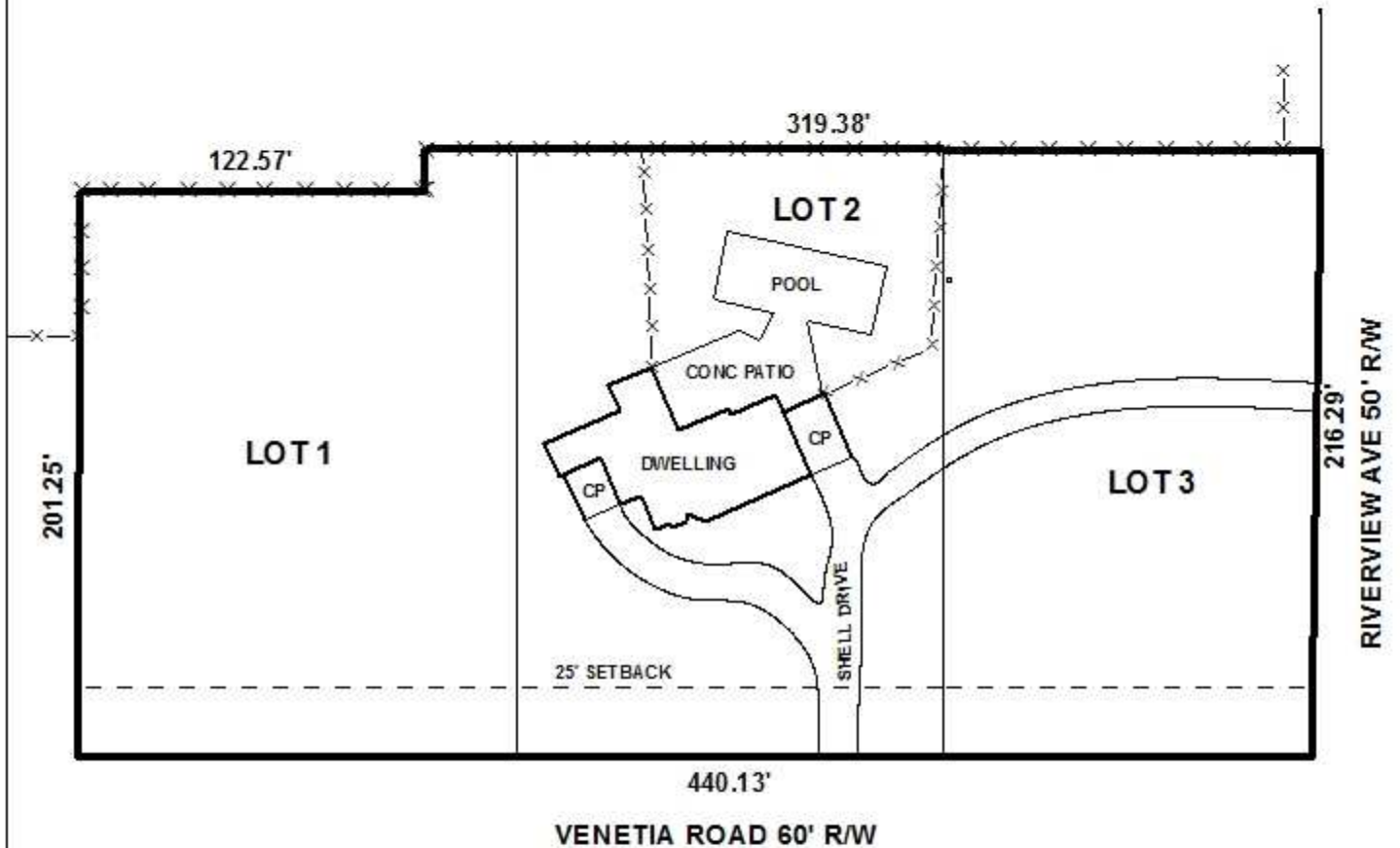
ERNEST ESTATES SUBDIVISION



APPLICATION NUMBER 16 DATE January 16, 2014



DETAIL SITE PLAN



APPLICATION NUMBER 16 DATE January 16, 2014

APPLICANT Ernest Estates Subdivision

REQUEST Subdivision

